



WHALEY HOUSE RENOVATION EXTERIOR STABALIZATION

for the
**UNIVERSITY OF SOUTH CAROLINA
CHILDREN'S LAW CENTER**

STATE PROJECT # H27-I909

CONTRACT DOCUMENTS

Project No.: 0933.02
JUNE 8, 2012

LIST OF DRAWINGS:

TITLE SHEET

STRUCTURAL:

S101 FIRST FLOOR PLAN

ARCHITECTURAL:

A101 FIRST FLOOR PLAN
A121 ROOF PLAN
A122 ROOF DETAILS
A201 SOUTH ELEVATION
A202 EAST ELEVATION
A203 NORTH ELEVATION
A204 WEST ELEVATION
A301 TRIM PROFILES

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	IAW	IN ACCORDANCE WITH
BO	BOTTOM OF	MANF	MANUFACTURER
BRG	BEARING	MAX	MAXIMUM
CJ	CONTROL JOINT	MIN	MINIMUM
CL	CENTERLINE	MO	MASONRY OPENING
CMU	CONCRETE MASONRY UNIT	MSL	MEAN SEA LEVEL
CONT	CONTINUOUS	MTD	MOUNTED
		NIC	NOT IN CONTRACT
DIA	DIAMETER	NTS	NOT TO SCALE
DR	DOOR	OC	ON CENTER
		OH	OPPOSITE HAND
EJ	EXPANSION JOINT	PR	PAIR
ELEC	ELECTRICAL	RM	ROOM
EOS	EDGE OF SLAB	RO	ROUGH OPENING
EQ	EQUAL	SAB	SOUND ATTENUATION BLANKETS
FD	FLOOR DRAIN	SIM	SIMILAR
FF	FINISH FLOOR	STOR	STORAGE
FG	FINISH GRADE		
FOB	FACE OF BRICK	TEMP(T)	TEMPERED
FOE	FACE OF EXISTING	TO	TOP OF
FOS	FACE OF STUD	TOS	TOP OF STEEL
FV	FIELD VERIFY	TRTD	TREATED
		TYP	TYPICAL
GA	GAUGE		
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GB	GYP SUM BOARD	VTR	VENT THROUGH ROOF
GALV	GALVANIZED		
HC	HANDICAP	W/O	WITHOUT
HM	HOLLOW METAL	W/	WITH
HR	HOUR	WH	WATER HEATER

STRUCTURAL:

ADC Engineering, Inc.

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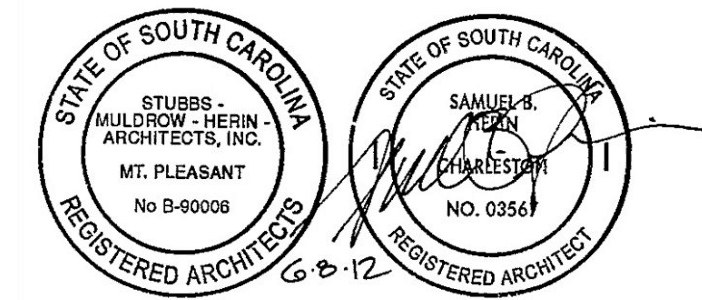
ABATEMENT CONSULTANT:

F&ME Consultants

Geotechnical / Environmental / Materials
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Columbia, SC 29205

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PHASE: CONTRACT DOCUMENTS

TITLE SHEET

$$1/4'' = 1'-0''$$

1. STRUCTURAL DRAWINGS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF PROJECT DOCUMENTS, INCLUDING ALL SHOP DRAWING SUBMITTALS.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING DIMENSIONS, CLEARANCES AND ALL OTHER COORDINATION ISSUES WITH OTHER TRADES.

3. IN CASE OF CONFLICT BETWEEN VARIOUS STRUCTURAL DRAWINGS, STRUCTURAL PLANS, OR STRUCTURAL DETAILS, THE MOST STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MOST COSTLY CONDITION.

4. ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, EXISTING ELEMENT LOCATIONS, AND EXISTING ELEMENT GEOMETRIES SHALL BE INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MOST COSTLY CONDITION.

5. IN CASE OF CONFLICT BETWEEN DRAWINGS, DRAWING NOTES, AND SPECIFICATIONS THE MOST STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MOST COSTLY CONDITION.

6. THE CONTRACTOR SHALL INDICATE DIMENSIONS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.

7. ALL NOTES, DETAILS AND SECTIONS ARE INTENDED TO BE TYPICAL FOR THE GENERAL CONDITIONS INDICATED OR REFERENCED. ALL NOTES, DETAILS AND SECTIONS SHALL BE REPEATED IN SIMILAR SITUATION THROUGHOUT THE ENTIRE PROJECT UNLESS A SEPARATE NOTE, DETAIL OR SECTION IS PROVIDED.

8. REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT'S REPRESENTATIVE'S REPRESENTATION SHALL GOVERN.

9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING AND IN PLACE WORK OR UTILITIES DURING CONSTRUCTION.

10. ALL STRUCTURAL DRAWINGS WITH OTHER CONTRACT DRAWINGS, SPECIFICATIONS, OR SHOP DRAWINGS WHICH MAY AFFECT THE STRUCTURAL WORK.

11. USE OF REPRODUCED CONTRACT DRAWINGS IN PART OR WHOLE FOR THE PURPOSE OF SHOP DRAWINGS PREPARATION SHALL BE UNACCEPTABLE. THE CONTRACTOR SHALL OBTAIN THE CONTRACTOR'S PERMISSION TO ACCURATELY LOCATE, COORDINATE, DETAIL, FABRICATE AND INSTALL A COMPLETE STRUCTURE.

12. ALL SUBMITTALS SHALL BE REVIEWED BY THE SUBCONTRACTOR AND CONTRACTOR FOR CONFORMANCE TO THE CONTRACT REQUIREMENTS, SPECIFICATIONS, AND DETAILS. THE CONTRACTOR COORDINATION RELATED QUESTIONS PRIOR TO SUBMITTING FOR APPROVAL. ALL SHEETS SHALL BE STAMPED AND INITIALED BY THE CONTRACTOR'S INDICATED REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL. THE CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL.

1. ALL PILES OF MULTI-PLY MEMBERS (DBL, TRPL, ETC.) SHALL BE GLUED TOGETHER WITH WATERPROOF CONSTRUCTION ADHESIVE (ASTM D3498) AND FASTENED WITH (3)-ROWS OF 16d "SINKER" NAILS AT 9" O. C.
2. ALL CONNECTIONS FOR WOOD MEMBERS SHALL BE PER IRC 2006 TABLE 2304.9.1 EXCEPT WHERE NOTED OTHERWISE.
3. ALL CLIPS AND HANGERS SHALL BE INSTALLED WITH MAX NAILS OF NUMBER AND SIZE AS INDICATED IN MANUFACTURER'S CATALOGUE.
4. THE BASIS OF DESIGN PRODUCT IS LISTED FOR ALL METAL FRAMING ANCHORS. CONTRACTOR MAY SUBMIT EQUIVALENT PROPRIETARY CONNECTORS FOR USE SUBJECT TO EOR APPROVAL.

- SHORING SHALL BE UTILIZED AS REQUIRED TO COMPLETE THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND IMPLEMENTATION OF ALL SHORING

1	REMOVE EXISTING DAMAGED LEDGER AND REPLACE WITH TRIPLE 2x10s (TD) BEARING ON EXISTING PIERS BELOW (SPLICE AS REQUIRED OVER BEARING POINTS)
2	AT EACH EXISTING FLOOR JOIST INDICATED, A NEW FULL LENGTH 2x10 SHALL BE ATTACHED TO THE EXISTING JOIST W/ 4" (6) ROWS 16" SINKER NAILS. ALL NEW JOISTS SHALL BE GLUED (ASTM D3436) TO EXISTING JOISTS AND TO SHEATHING ABOVE. ATTACH NEW EXISTING SISTERED JOISTS TO NEW LEDGER WITH 16" LONG LUS212S. 16" LONG LUS212S TO NEW EXISTING JOIST.
3	REMOVE EXISTING DAMAGED LEDGER AND REPLACE WITH TRIPLE 2x12s (TD) BEARING ON EXISTING PIERS BELOW (SPLICE AS REQUIRED OVER BEARING POINTS). EXTEND DOWN WITH MULTI-PLY FLATWIDE 2x6s AS REQUIRED TO EXISTING DECKING. ATTACH NEW LEDGER TO NEW LEDGER W/ SIMPSON LUS210 FACE MOUNT JOIST HANGERS (MAX. NAILS).

REVISIONS:

WHALEY HOUSE - STABILIZATION

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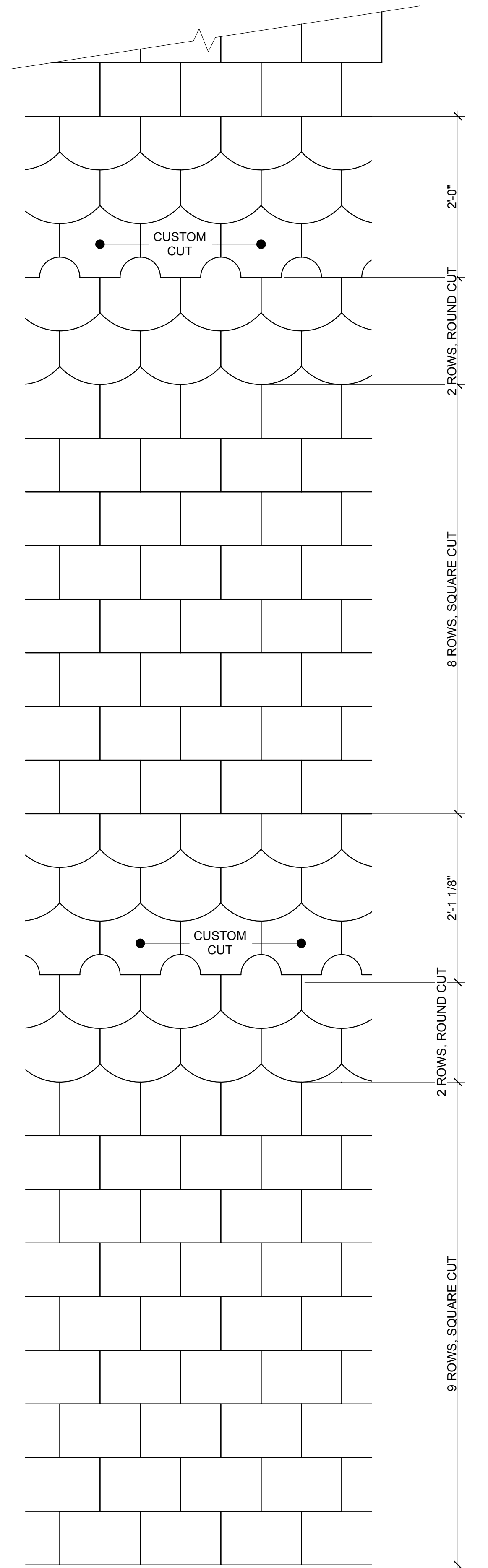
OVER 30 YEARS OF EXPERIENCE
IN THE DESIGN AND CONSTRUCTION OF
INDUSTRIAL FACILITIES

PROJECT NO: 0933.02
DRAWN BY: JBJ/KMM
ISSUE DATE: 6/6/12

PHASE: 6/6/12 PROGRESS

FIRST FLOOR PLAN

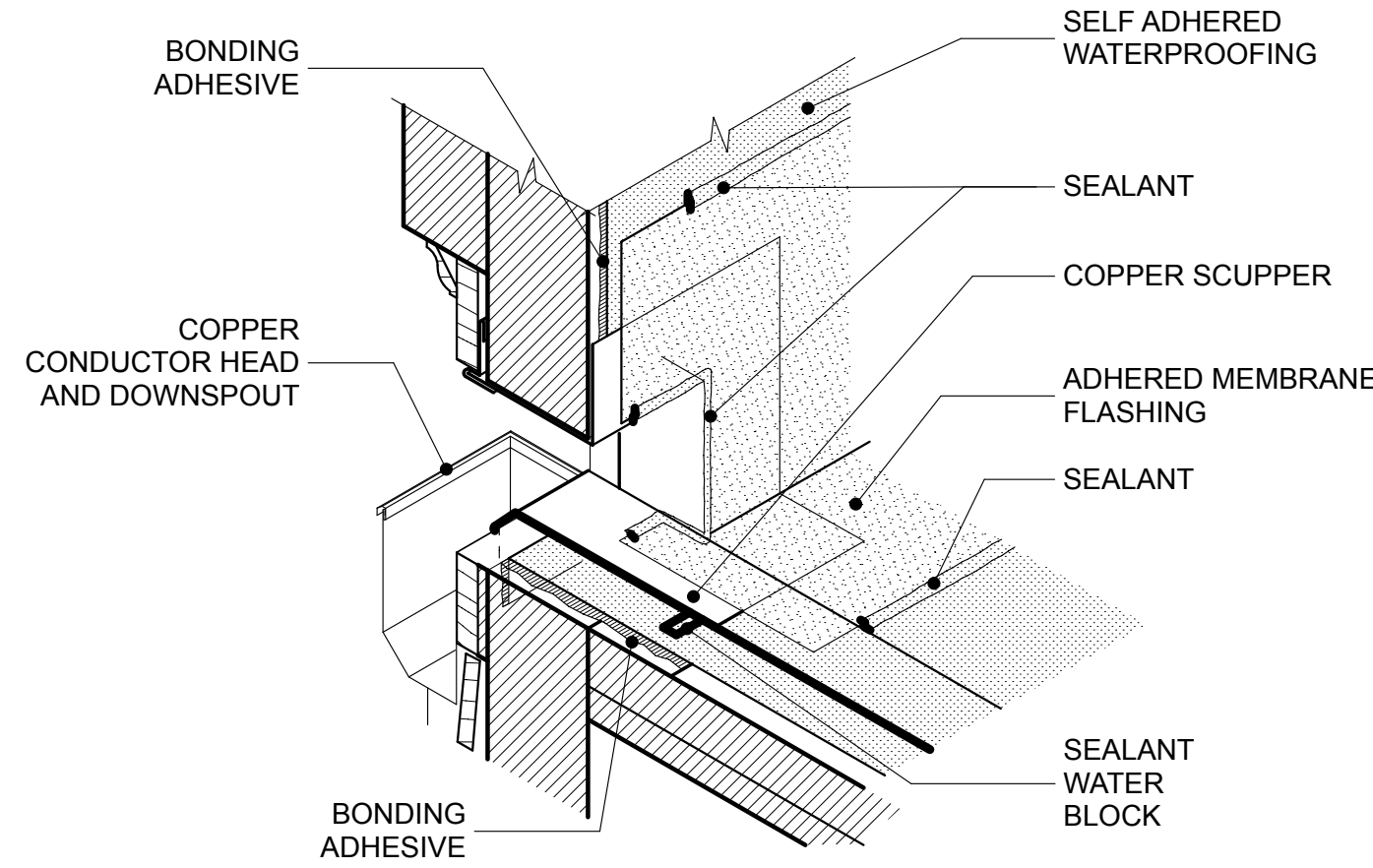
S101



A1 SLATE ROOF PATTERN DIAGRAM
NOT TO SCALE



A121

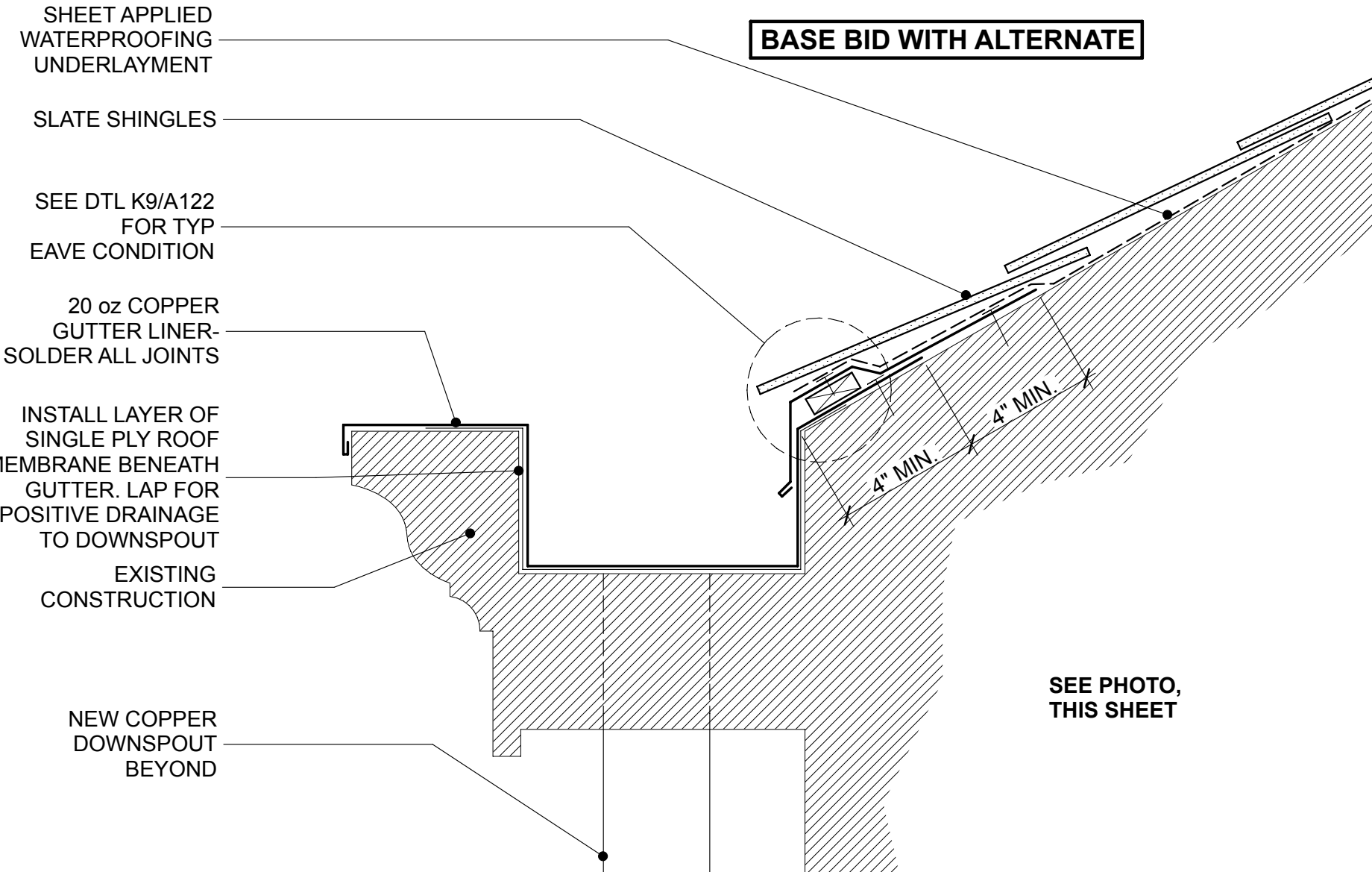
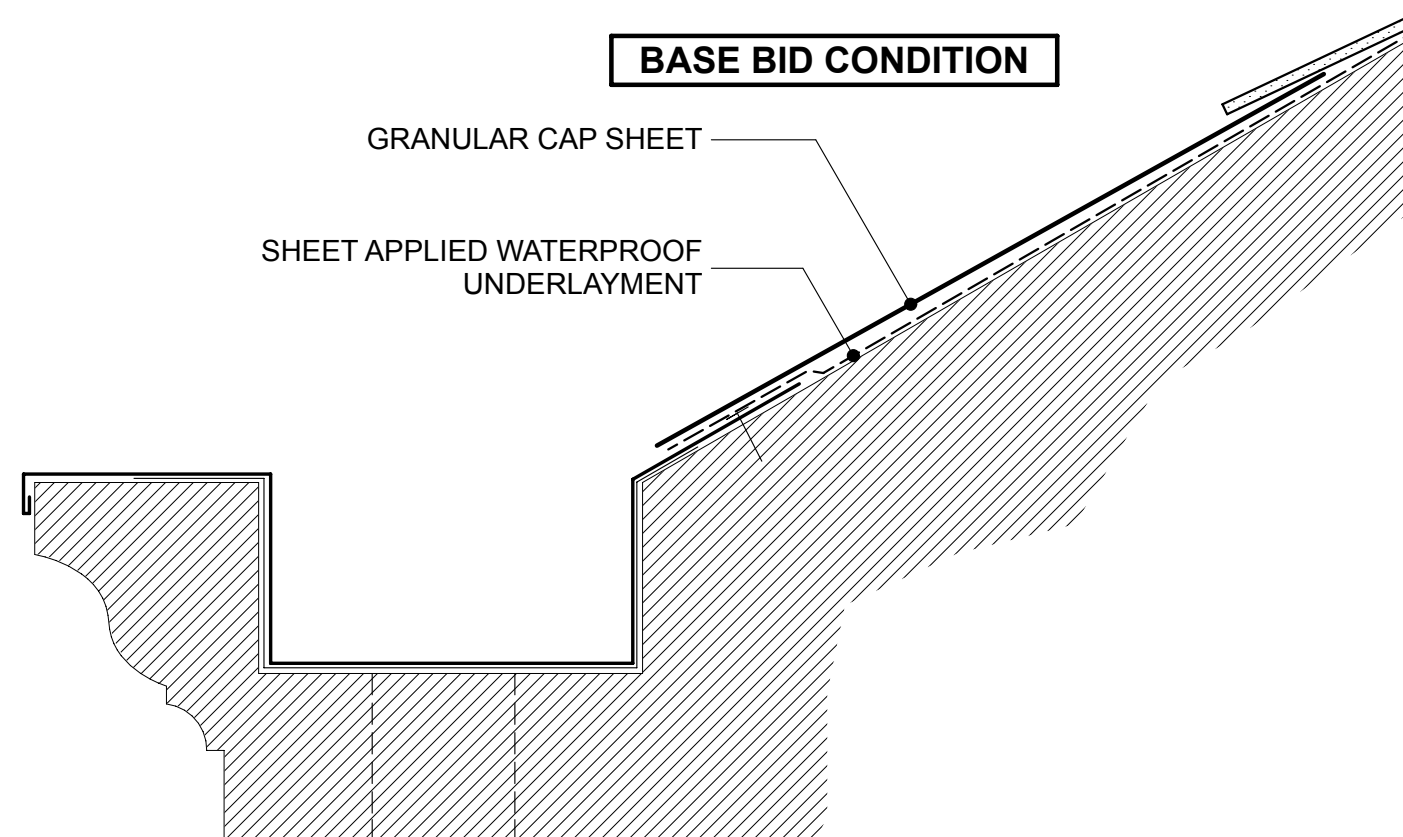


NOTES:

1. CONDUCTOR HEAD TO BE 1 INCH MINIMUM BELOW BOTTOM OF THROUGH-WALL SCUPPER.
2. REFER TO SECTION NRCA 10.1--INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ALTERNATIVE BASE SECUREMENT OPTIONS.
3. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING--2010 FOR DESIGN, JOINERY AND SECUREMENT OPTIONS FOR SCUPPERS.
4. REFER TO SECTION NRCA 10.1--INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

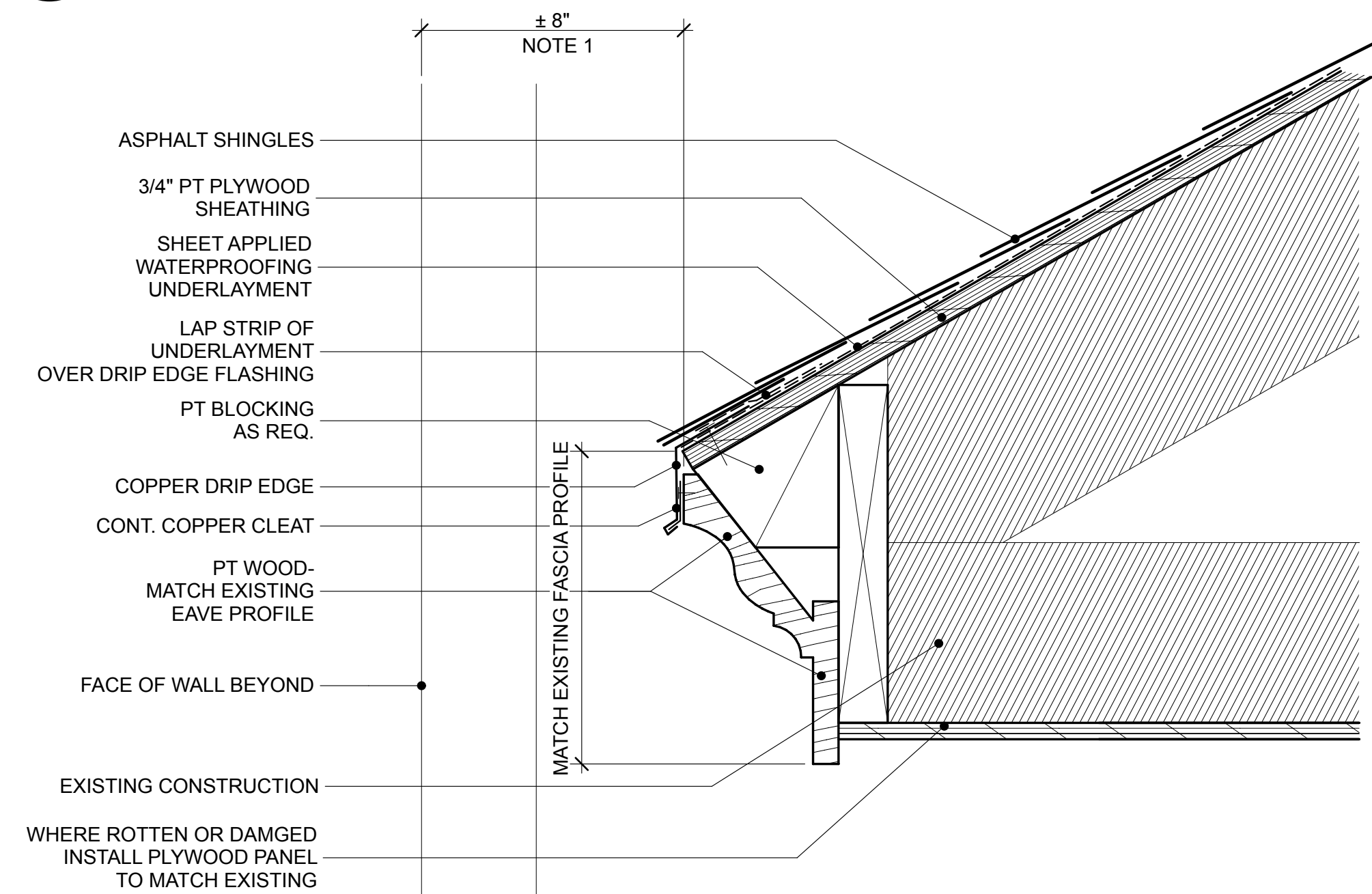
K3 BASE FLASHING AT SCUPPER AND CONDUCTOR HEAD

NOT TO SCALE



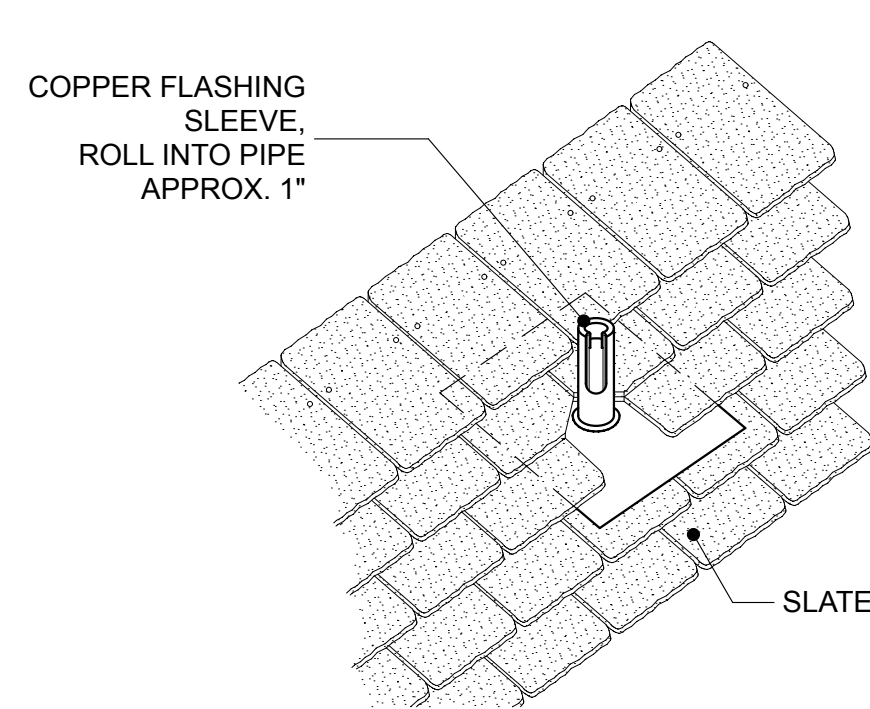
E3 TYPICAL GUTTER DETAIL

NOT TO SCALE



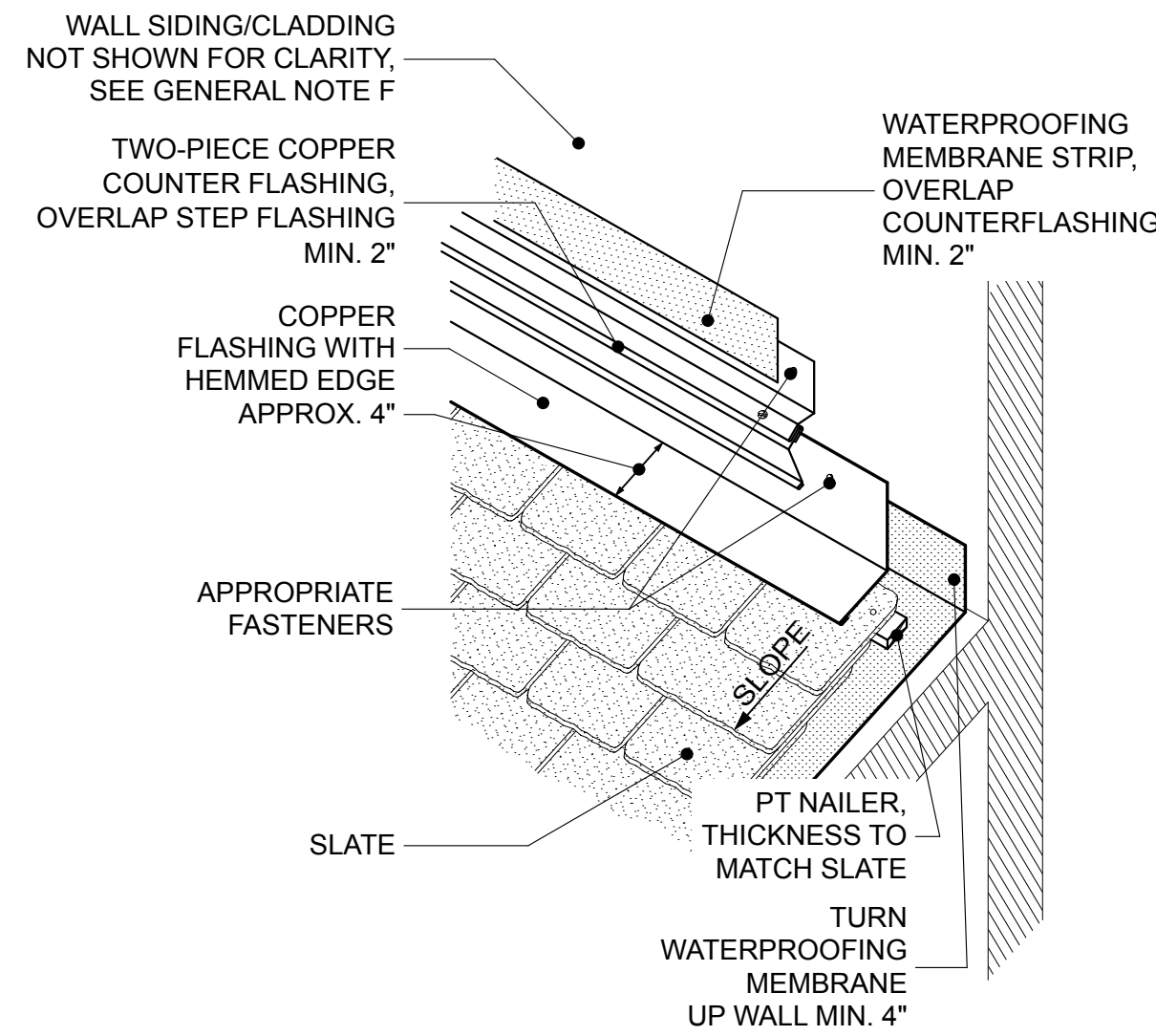
A3 ENTRY EAVE DETAIL

NOT TO SCALE



M6 TYPICAL VENT PIPE PENETRATION DETAIL

NOT TO SCALE

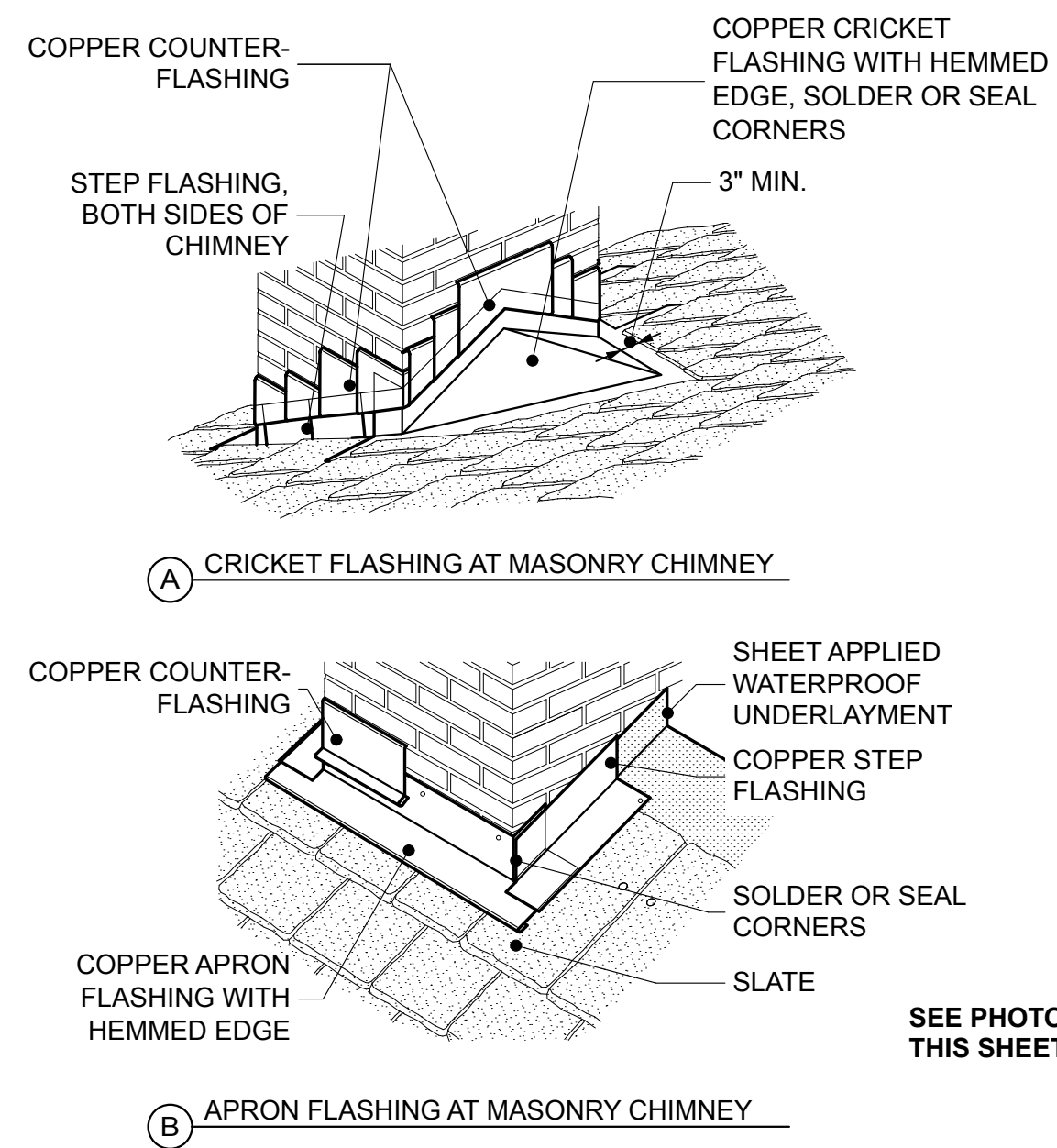


NOTES:

1. FOR SECUREMENT AND JOINERY OPTIONS FOR SHEET METAL, REFER TO THE ARCHITECTURAL SHEET METAL SECTION OF THE NRCA ROOFING AND WATERPROOFING MANUAL, FIFTH EDITION. THIS SECTION WILL BE SUPERSEDED BY THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, MOISTURE CONTROL AND REROOFING--2010.

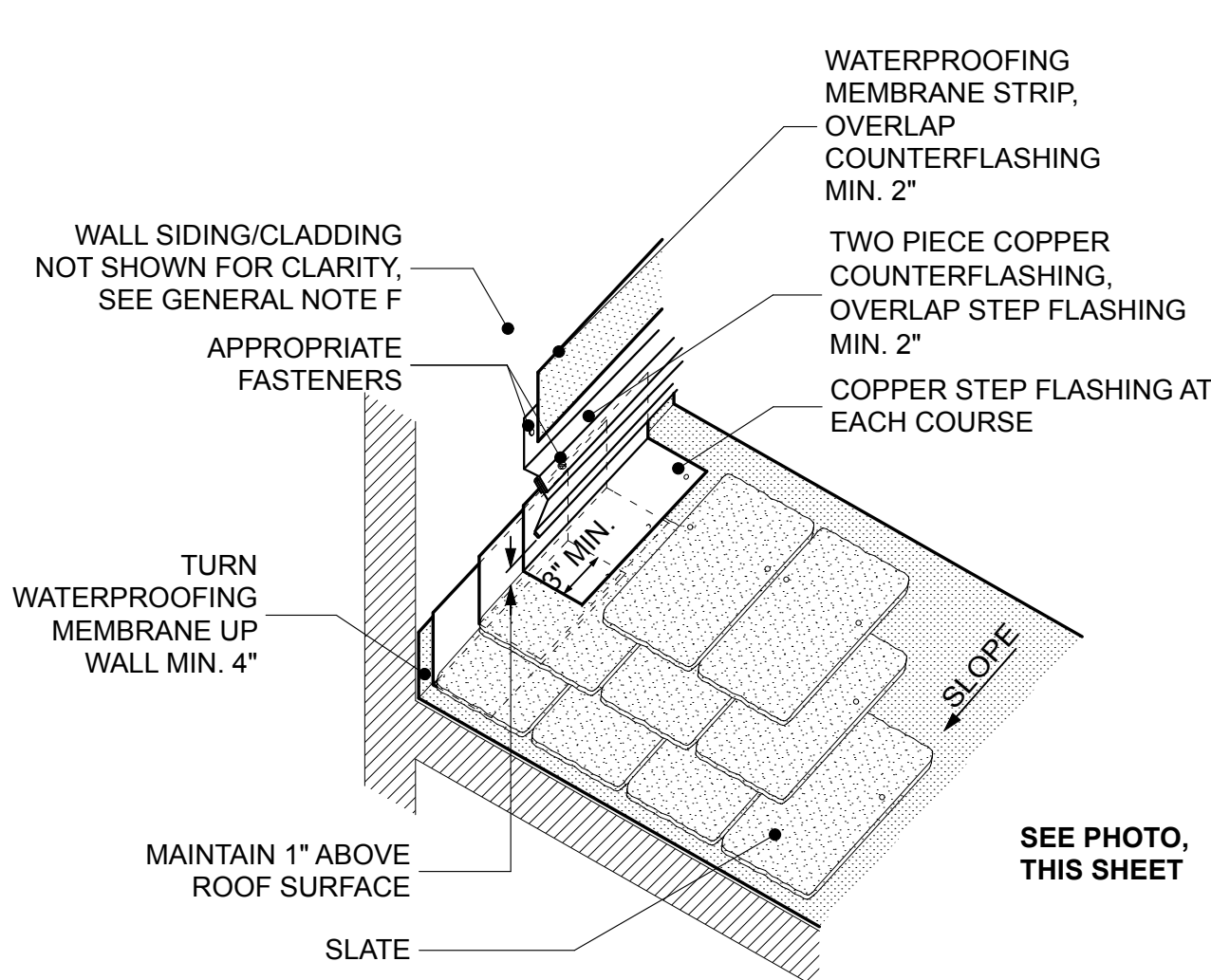
I6 TYPICAL HEADWALL DETAIL

NOT TO SCALE



E6 CHIMNEY CRICKET DETAIL

NOT TO SCALE

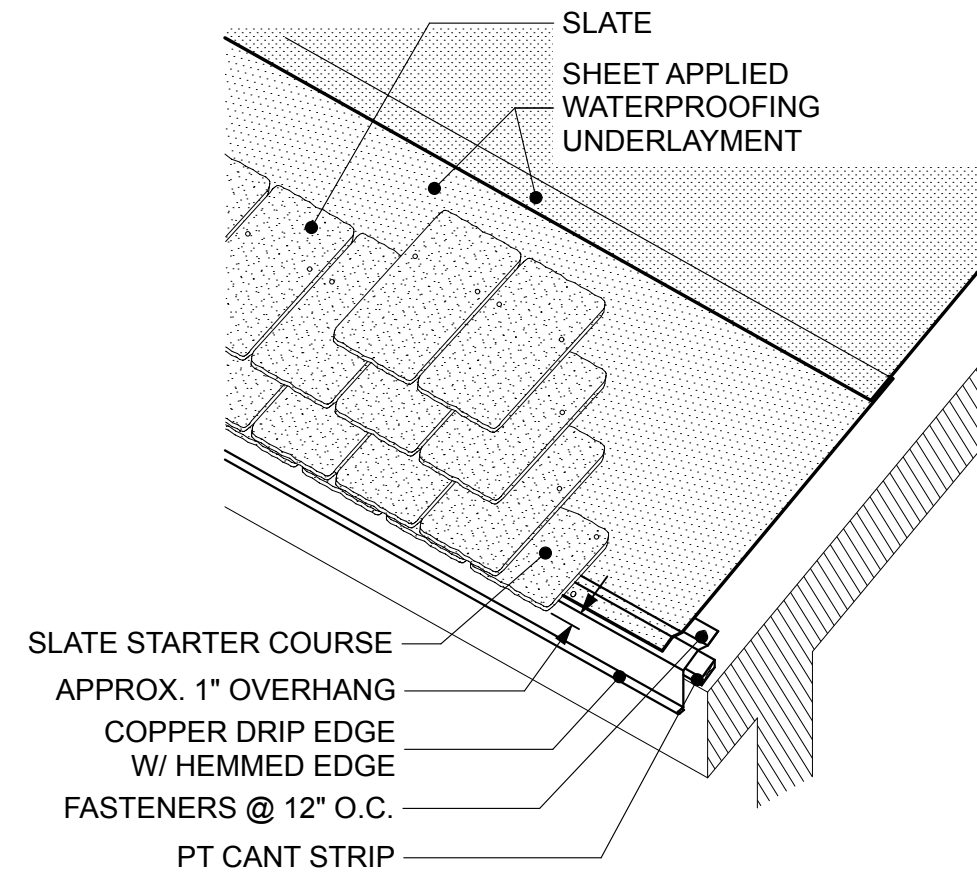


NOTES:

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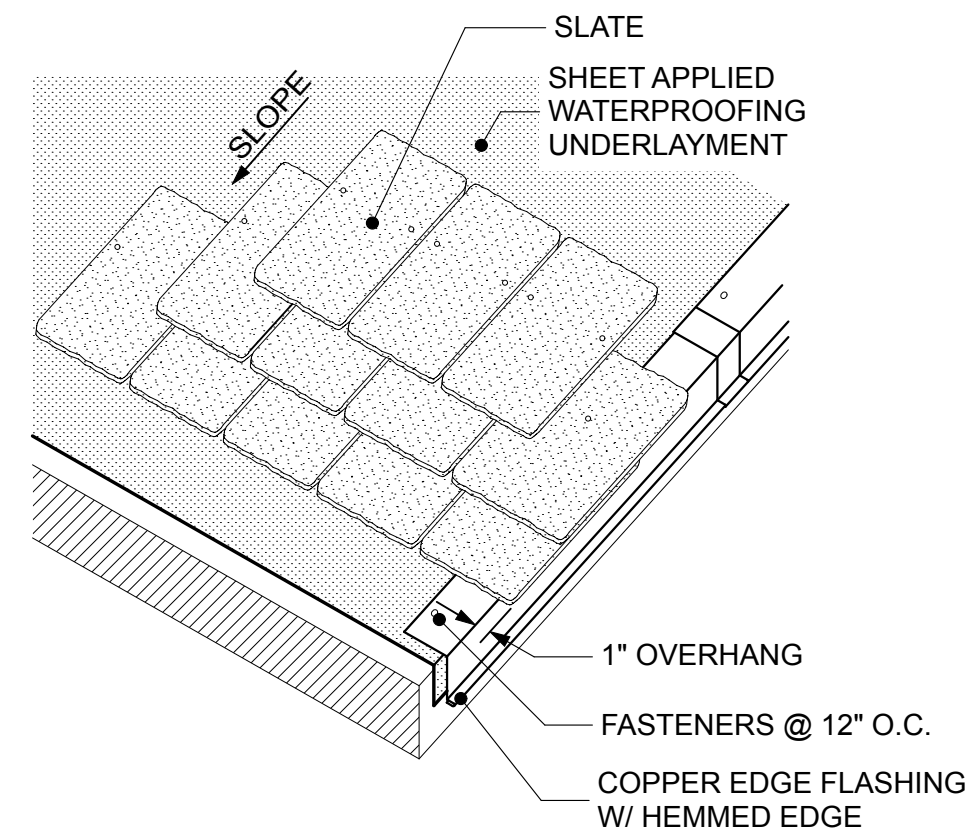
A6 TYPICAL SIDEWALL DETAIL

NOT TO SCALE



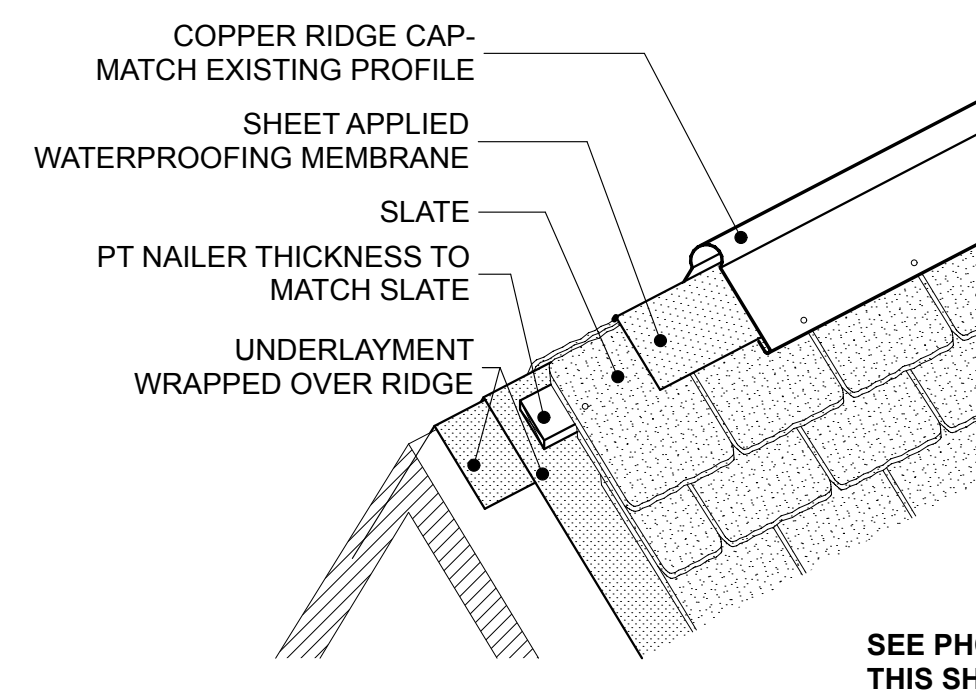
K9 TYPICAL EAVE DETAIL

NOT TO SCALE



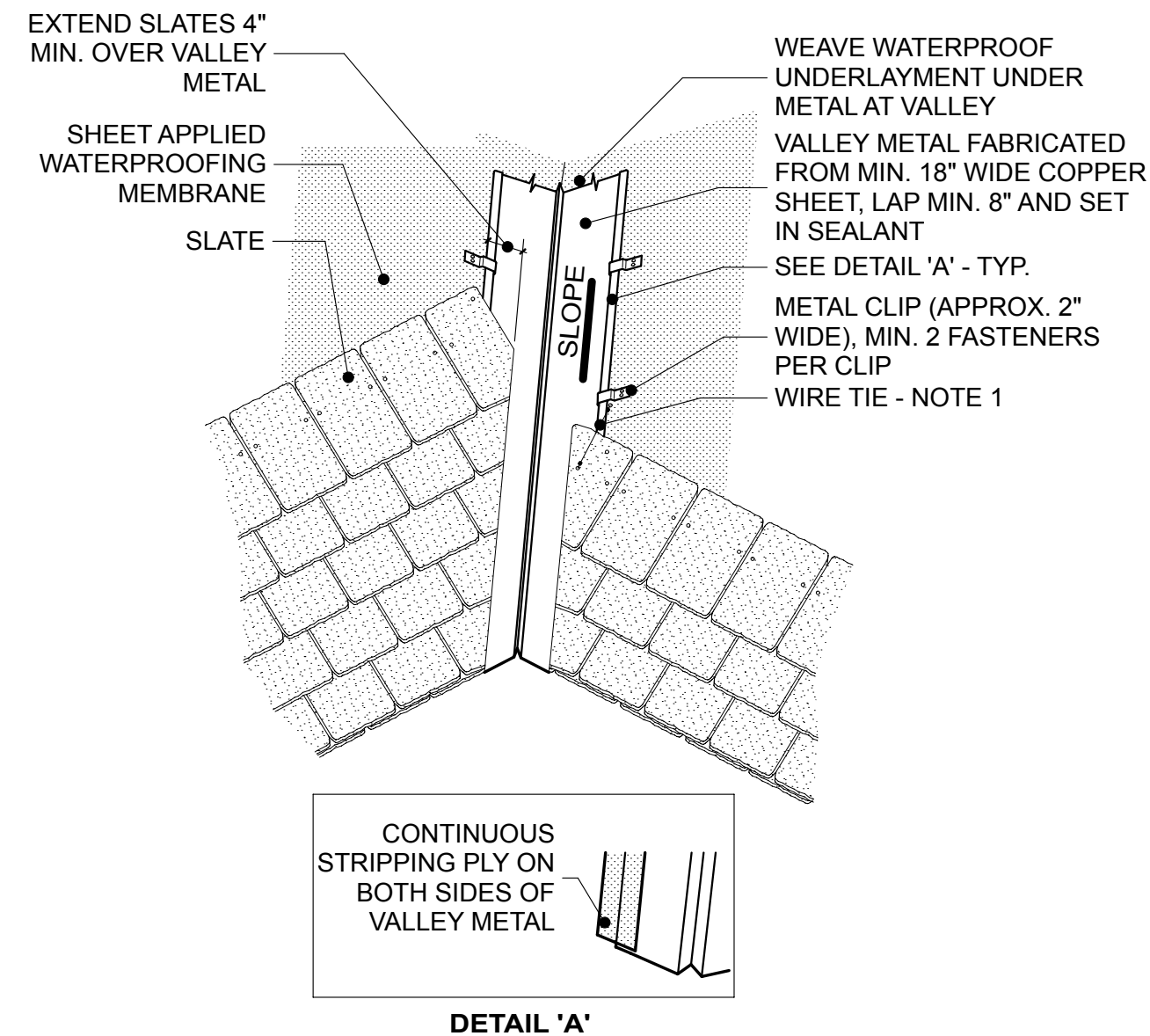
H9 TYPICAL RAKE DETAIL

NOT TO SCALE



E9 TYPICAL HIP/RIDGE DETAIL

NOT TO SCALE



NOTES:

1. SLATE SHOULD NOT BE FASTENED THROUGH THE VALLEY METAL. USE WIRE-TIED SYSTEM.

A9 TYPICAL VALLEY DETAIL

NOT TO SCALE

GENERAL NOTES:

- A. IN THE ABSENCE OF A DETAIL OF ANY CONDITION ON THE ROOF THE MOST STRINGENT CONDITION OF NRCA/SMACNA SHALL APPLY. IN NO CASE SHALL THE CONCEPT SET FORTH IN THE NRCA MANUAL NOT BE FOLLOWED FOR A PROFESSIONALLY EXECUTED AND WATER TIGHT CONDITION.
- B. ANY CLARIFICATION IN REFERENCE TO SHEET METAL REQUIREMENTS OF THIS JOB SHALL FOLLOW RECOMMENDATIONS AND GUIDELINES OF THE SMACNA MANUAL, 5TH EDITION.
- C. ANY CLARIFICATION IN REFERENCE TO METAL ROOF REQUIREMENTS OF THIS JOB SHALL FOLLOW RECOMMENDATIONS AND GUIDELINES OF NRCA ROOFING MANUAL, 4TH EDITION.
- D. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND ALL PENETRATIONS.
- E. ALL TRADES MAKING PENETRATIONS THROUGH THE ROOF SHALL COORDINATE LOCATIONS AND DETAILS WITH ROOF INSTALLER.
- F. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD, DO NOT NAIL THROUGH METAL FLASHINGS.
- G. SOME DETAILS SHOWN ARE FOR USE WITH ALTERNATE NO. 1.
- H. REFERENCE SPECIFICATIONS FOR TYPE OF SOPPER TO BE USED AT EACH APPLICATION.

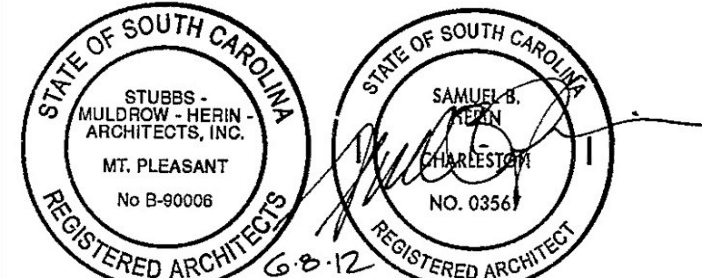
REVISIONS:

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RENOVATION - EXTERIOR
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PHASE: CONTRACT DOCUMENTS

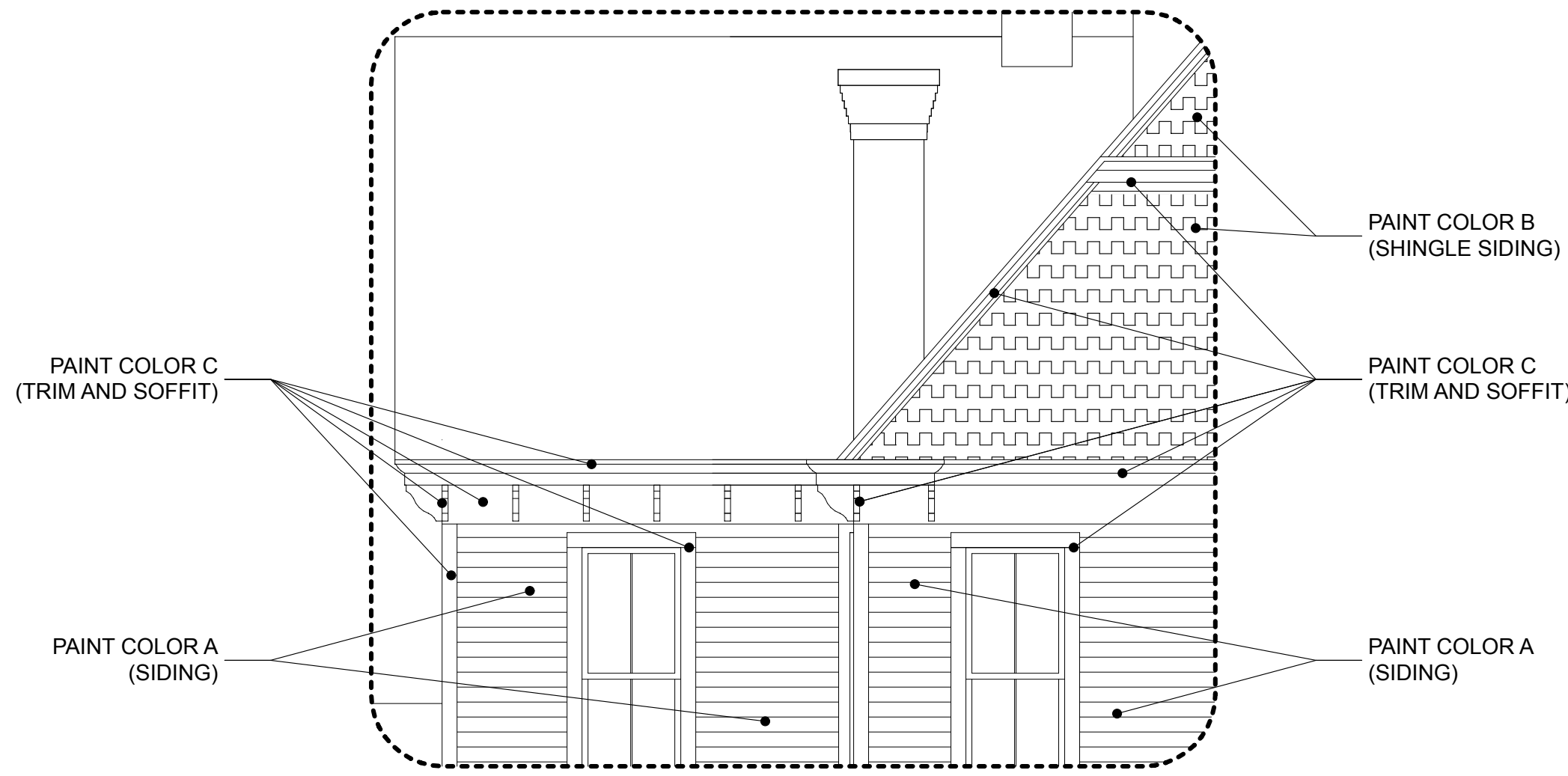
ROOF DETAILS

A122

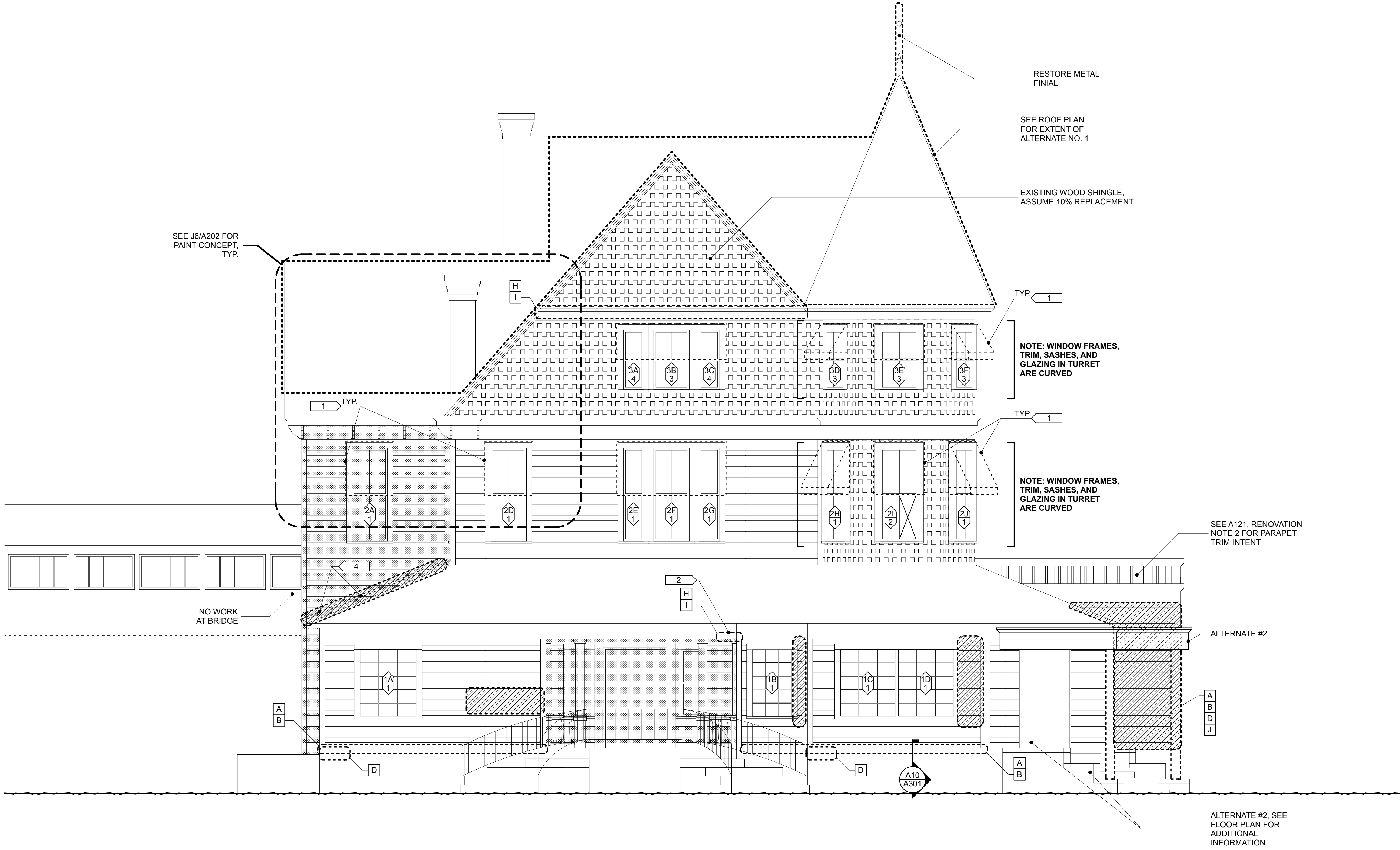
ALTERNATES:

NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER. DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.



J6 PAINT CONCEPT
SCALE: 1/4" = 1'-0"



A2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. ALL AREAS, INCLUDING WINDOW FRAMES, TO RECEIVE LEVEL 1 PAINT REMOVAL, UNLESS NOTED OTHERWISE.
- B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.
- C. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD. DO NOT NAIL THROUGH METAL FLASHINGS.
- D. SEE SPECIFICATIONS FOR SHEATHING AND WEATHER BARRIER REQUIREMENTS WHERE REPLACEMENT HAS EXPOSED DAMAGE OR ROT OF EXISTING COMPONENTS.

LEGEND:

- HATCHED AREAS ARE FOR NOTING MISSING / DAMAGED AREAS OF WOOD SIDING OR WALL SHAKES. HATCHED AREAS ARE NOT TO BE CONSTRUED AS DEFINING LIMIT OF WORK BUT SERVE ONLY TO HIGHLIGHT PARTICULAR AREAS OF CONCERN. REMOVE DAMAGED WOOD. FOR GENERAL CALCULATION, DRAWING IS TO SCALE.
- SHADED AREAS TO RECEIVE LEVEL 2 PAINT REMOVAL
- INDICATES MISSING / DAMAGED PANE OF GLASS
- INDICATES WINDOW IDENTIFICATION
REFERENCE WINDOW NOTES

DEMOLITION NOTES:

- 1 AWNINGS ARE TO BE REMOVED. CONTRACTOR SHALL ASSUME REMOVAL AND REPLACEMENT OF HEAD TRIM AND PARTIAL JAMB TRIM THOUGH EXTENT OF ROT SHOULD BE EVALUATED AT EACH CIRCUMSTANCE.
- 2 DEMOLITION SHALL INCLUDE DAMAGED SOFFIT IN THIS AREA.
- 3 NOT USED
- 4 REMOVE ALL EXTRANEIOUS ELECTRICAL CONDUIT, PLUMBING VENTS, OR BUILDING MOUNTED APPURTANANCES.

REPLACEMENT NOTES:

- A REPLACE DAMAGED AREAS OF WOOD DRIP EDGE
- B REPLACE DAMAGED AREAS OF BED MOULDING
- D REPLACE DAMAGED AREAS OF SILL TRIM (9 1/2"x3/4")
- H REPLACE DAMAGED AREAS OF FASCIA TRIM
- I REPLACE DAMAGED AREAS OF CROWN MOULDING
- J REPLACE DAMAGED AREAS OF CORNER TRIM

WINDOW NOTES:

- ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED.
- ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED. MISSING / DAMAGED GLASS TO BE REPLACED. REMOVE PLYWOOD COVER IF PRESENT.
- REMOVE ROTTEN SASHES AND STORE ON SITE IN SECURE LOCATION. SALVAGE IN-TACT GLASS FOR REUSE. REMOVE PLYWOOD COVER IF PRESENT.
- EXACT SASHES HAVE NOT BE IDENTIFIED. CONTRACTOR TO ASSUME EIGHT SASHES WILL REQUIRE PATCH-IN-PLACE REPAIR.

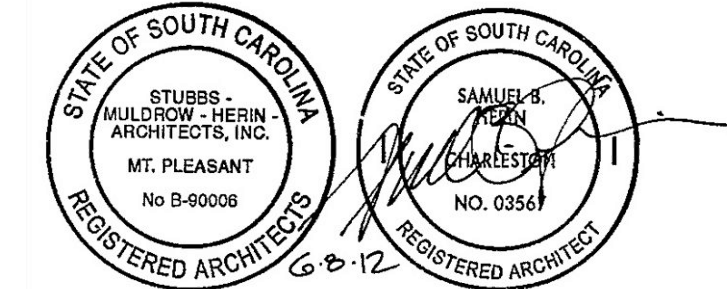
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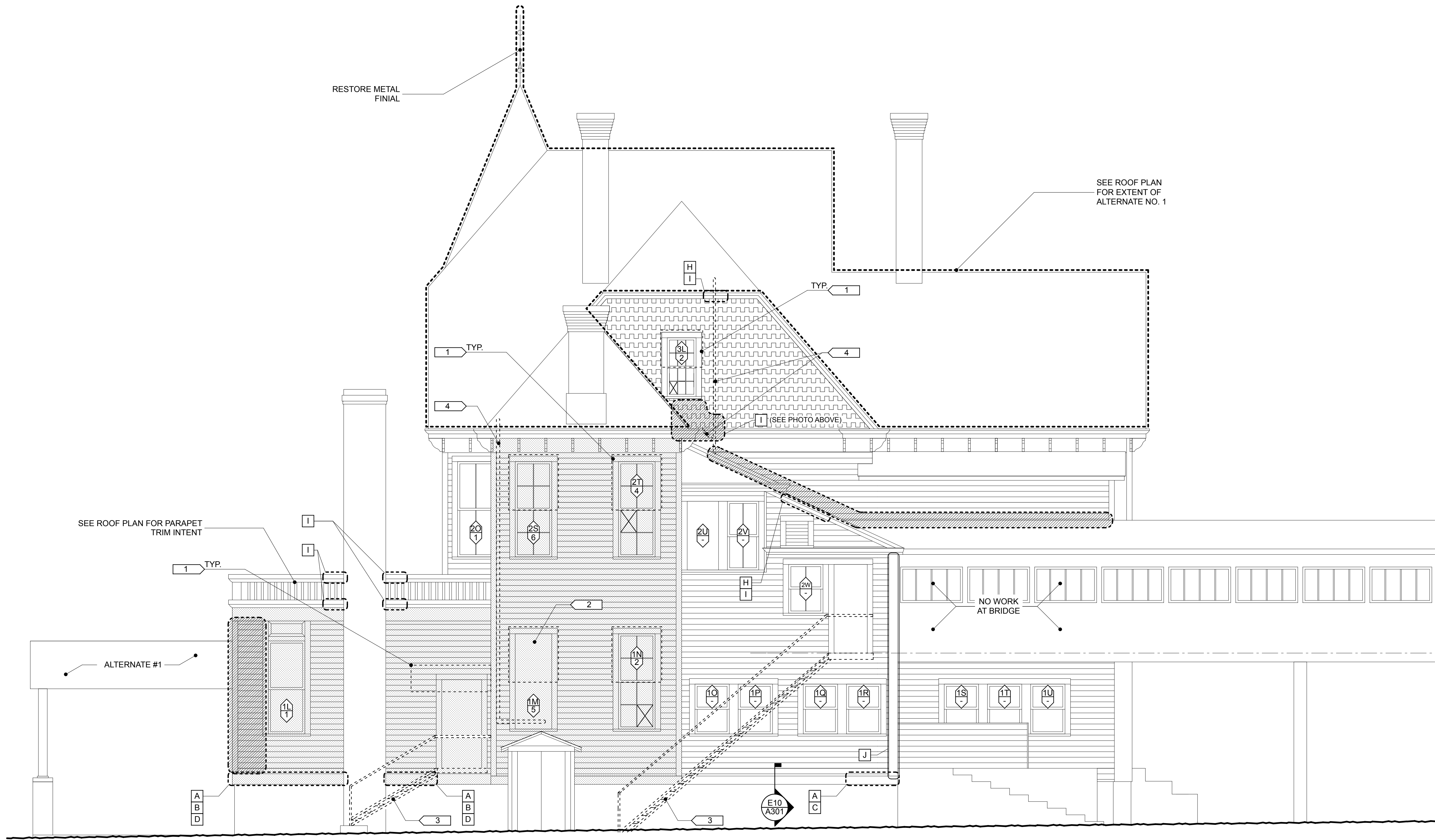


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SOUTH ELEVATION

A201



A2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ALTERNATES:

NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER. DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.

GENERAL NOTES:

- A. ALL AREAS, INCLUDING WINDOW FRAMES, TO RECEIVE LEVEL 1 PAINT REMOVAL, UNLESS NOTED OTHERWISE.
- B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.
- C. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD; DO NOT NAIL THROUGH METAL FLASHINGS.
- D. SEE SPECIFICATIONS FOR SHEATHING AND WEATHER BARRIER REQUIREMENTS WHERE REPLACEMENT HAS EXPOSED DAMAGE OR ROT OF EXISTING COMPONENTS.

LEGEND:

- HATCHED AREAS ARE FOR NOTING MISSING / DAMAGED AREAS OF WOOD SIDING OR WALL SHAKES. HATCHED AREAS ARE NOT TO BE CONSTRUED AS DEFINING LIMIT OF WORK BUT SERVE ONLY TO HIGHLIGHT PARTICULAR AREAS OF CONCERN. REMOVE DAMAGED WOOD. FOR GENERAL CALCULATION, DRAWING IS TO SCALE.
- SHADED AREAS TO RECEIVE LEVEL 2 PAINT REMOVAL
- INDICATES MISSING / DAMAGED PANE OF GLASS
- INDICATES WINDOW IDENTIFICATION REFERENCE WINDOW NOTES

DEMOLITION NOTES:

1. AWNINGS ARE TO BE REMOVED. CONTRACTOR SHALL ASSUME REMOVAL AND REPLACEMENT OF HEAD TRIM AND PARTIAL JAMB TRIM THOUGH EXTENT OF ROT SHOULD BE EVALUATED AT EACH CIRCUMSTANCE.
2. REMOVE PLYWOOD COVERING. CONTRACTOR SHALL ASSUME UNIT BEHIND WILL REQUIRE SAME WORK AS VISIBLE WINDOWS BUT WITH REPLACEMENT OF ALL GLASS.
3. METAL STAIRS TO BE REMOVED. CONTRACTOR SHALL ASSUME DAMAGE TO SIDING IN THESE LOCATIONS. EXTENT OF ROT SHALL BE EVALUATED AT EACH CIRCUMSTANCE.
4. REMOVE ALL EXTRANEIOUS ELECTRICAL CONDUIT, PLUMBING VENTS, OR BUILDING MOUNTED APPURTANANCES. SEE PHOTO, THIS SHEET.

REPLACEMENT NOTES:

- A. REPLACE DAMAGED AREAS OF WOOD DRIP EDGE
- B. REPLACE DAMAGED AREAS OF BED MOULDING
- D. REPLACE DAMAGED AREAS OF SILL TRIM (9 1/2"x3/4")
- H. REPLACE DAMAGED AREAS OF FASCIA TRIM
- I. REPLACE DAMAGED AREAS OF CROWN MOULDING
- J. REPLACE DAMAGED AREAS OF CORNER TRIM

WINDOW NOTES:

- ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED.
- ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED. MISSING / DAMAGED GLASS TO BE REPLACED. REMOVE PLYWOOD COVER IF PRESENT.
- REMOVE ROTTEN SASH(ES) AND STORE ON SITE IN SECURE LOCATION. SALVAGE IN-TACT GLASS FOR REUSE.
- CONTRACTOR SHALL ASSUME ALL GLASS AND GLAZING COMPOUND TO BE REPLACED. CONTRACTOR OPTION TO REMOVE PAINT AND SALVAGE GLASS SHALL BE EVALUATED AT EACH CIRCUMSTANCE. REMOVE PLYWOOD COVER IF PRESENT.
- CONTRACTOR TO ASSUME ONE ROTTEN SASH AND 50% MISSING / DAMAGED GLASS.
- EXACT SASH(ES) HAVE NOT BE IDENTIFIED. CONTRACTOR TO ASSUME EIGHT SASHES WILL REQUIRE PATCH-IN-PLACE REPAIR.

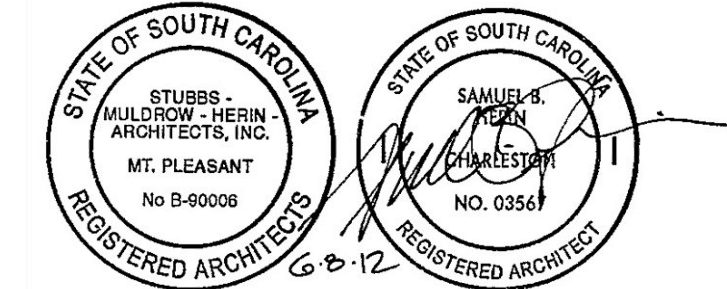
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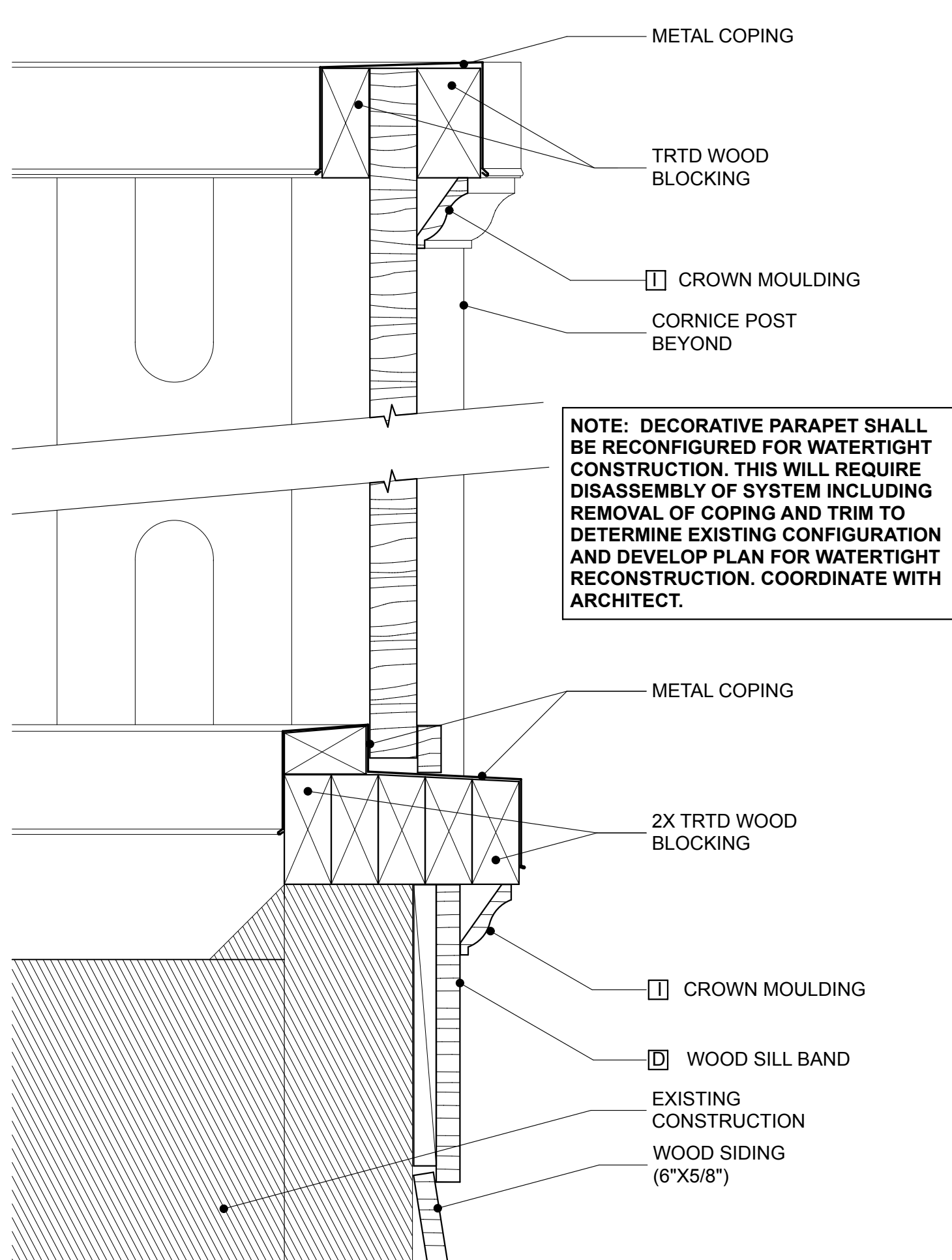


PROJECT NO: 0933.02
DRAWN BY: GHC
ISSUE DATE: 06/08/12

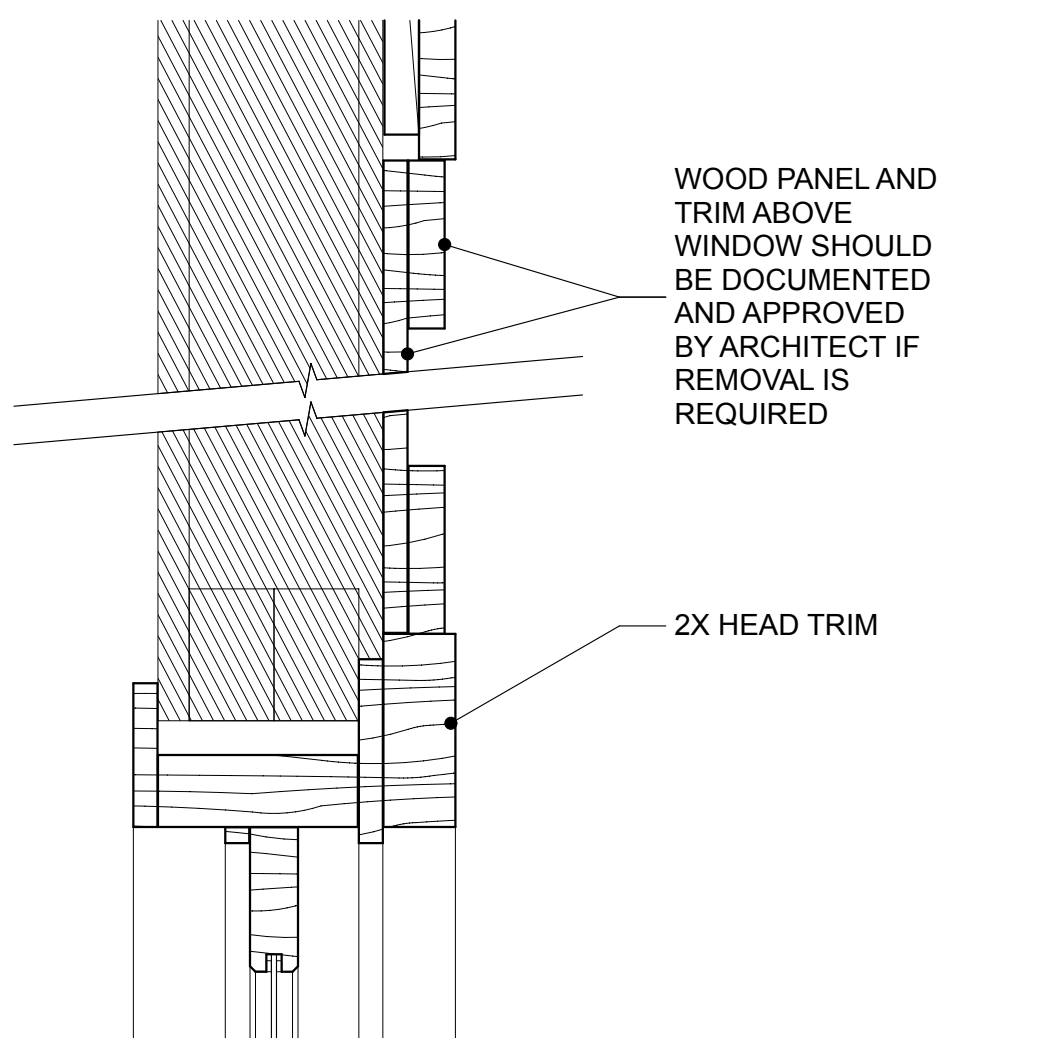
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NORTH ELEVATION

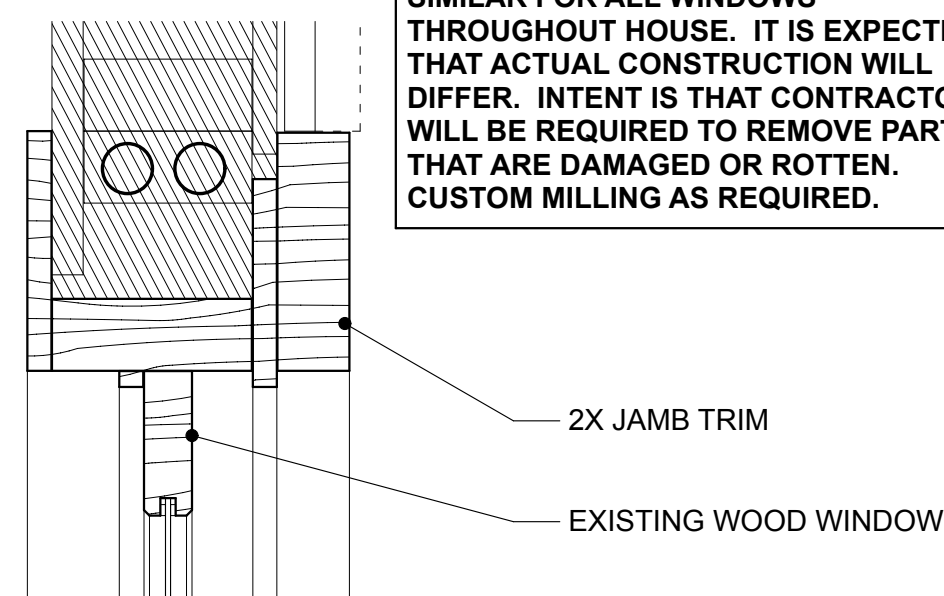
A203



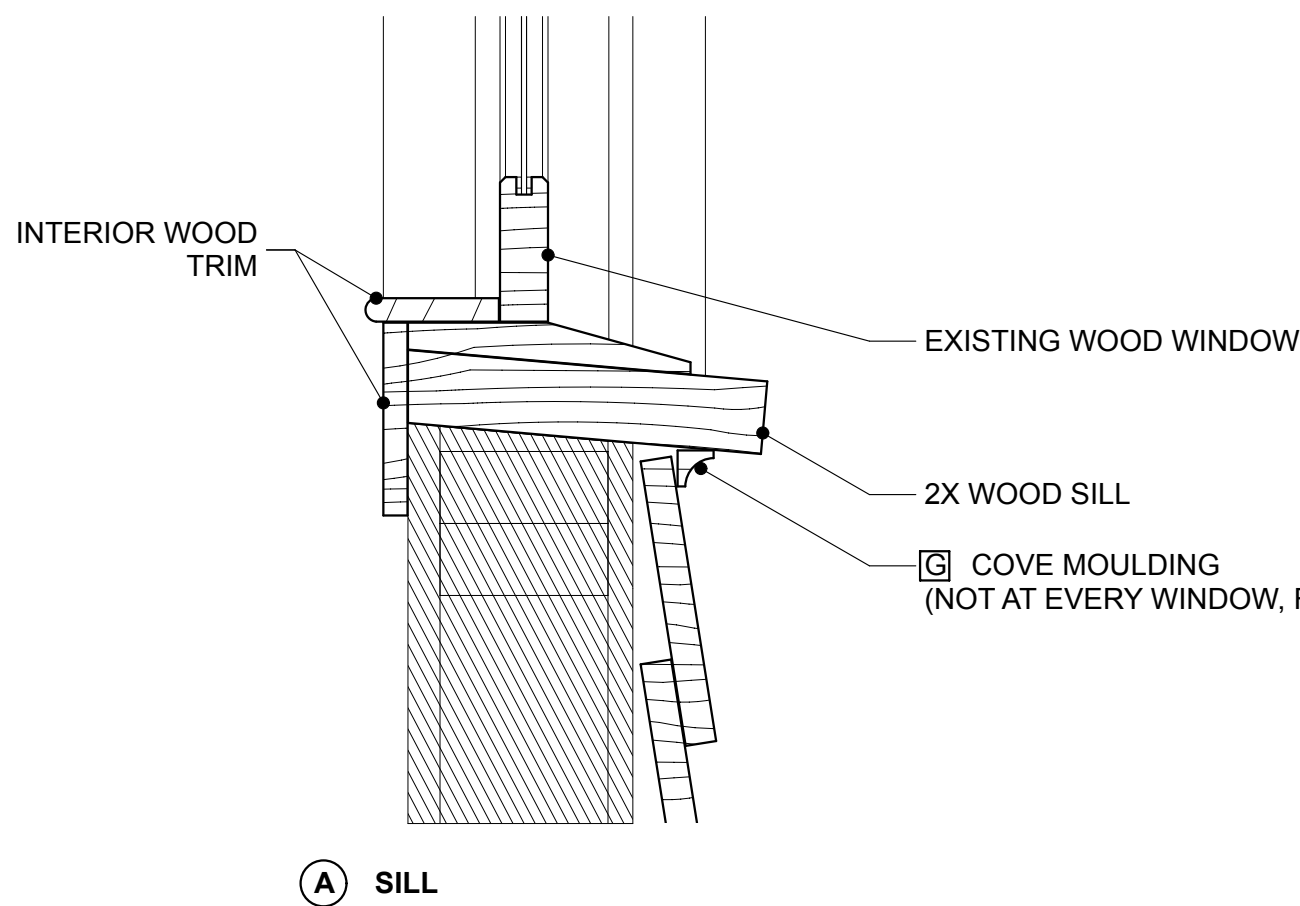
I3 PARAPET ASSEMBLY AT PICKENS STREET ADDITION
SCALE: 3" = 1'-0"



(C) HEAD

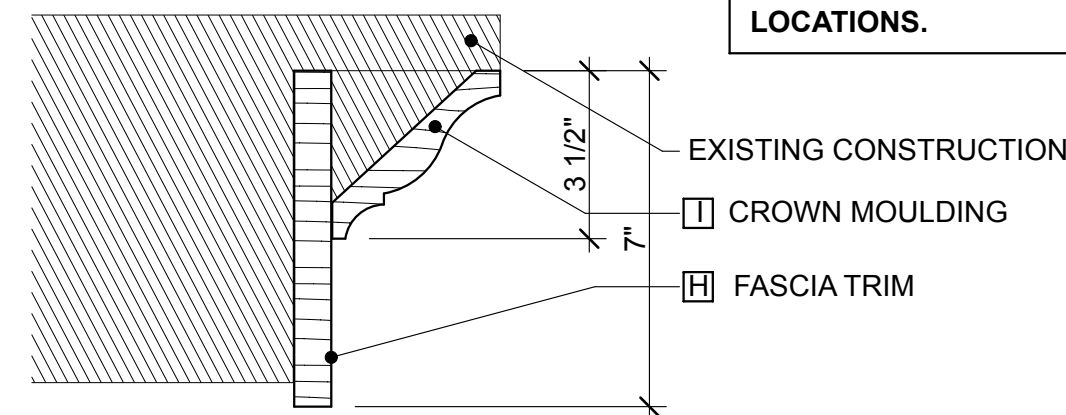


(B) JAMB

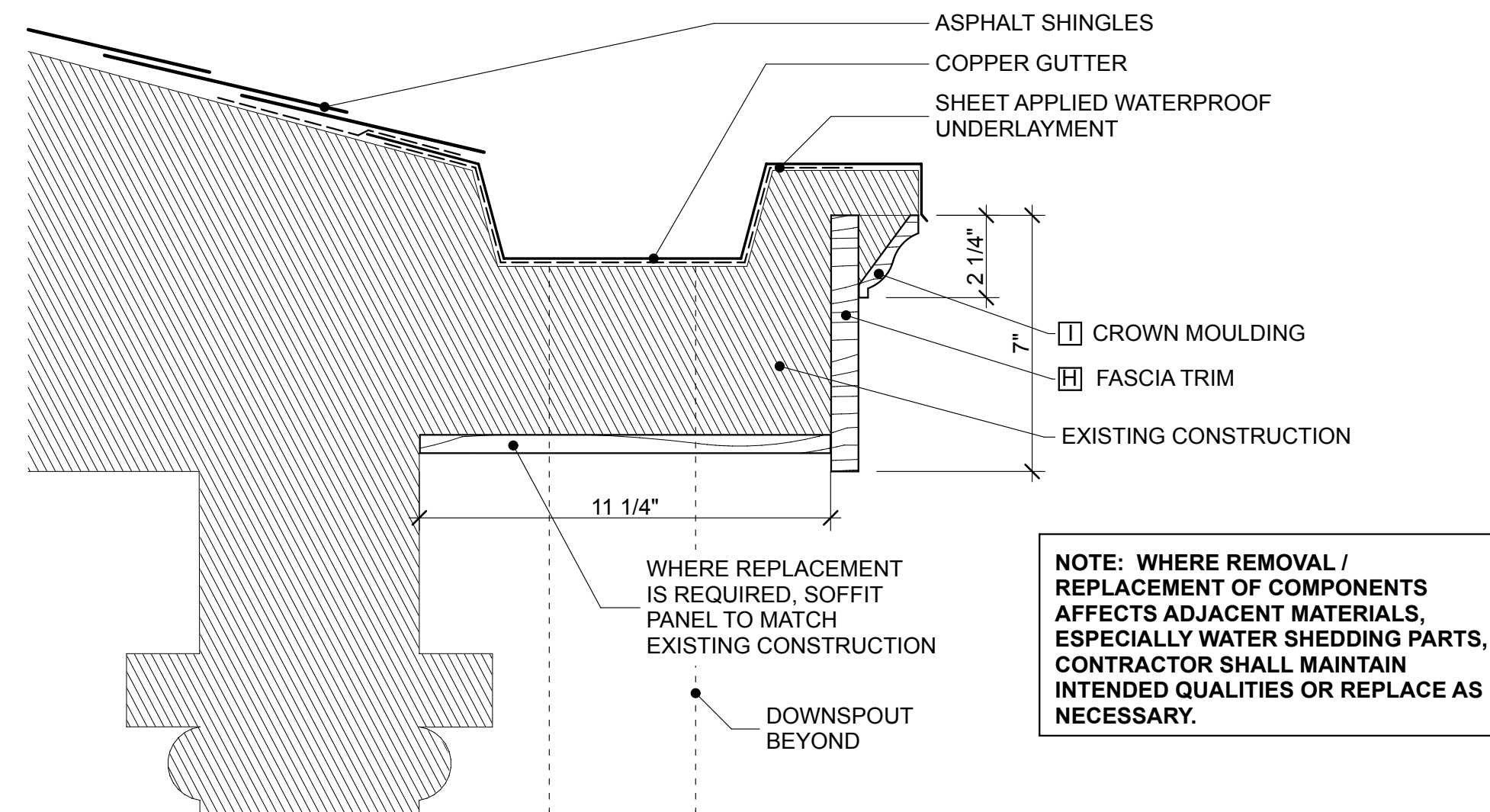


(A) SILL

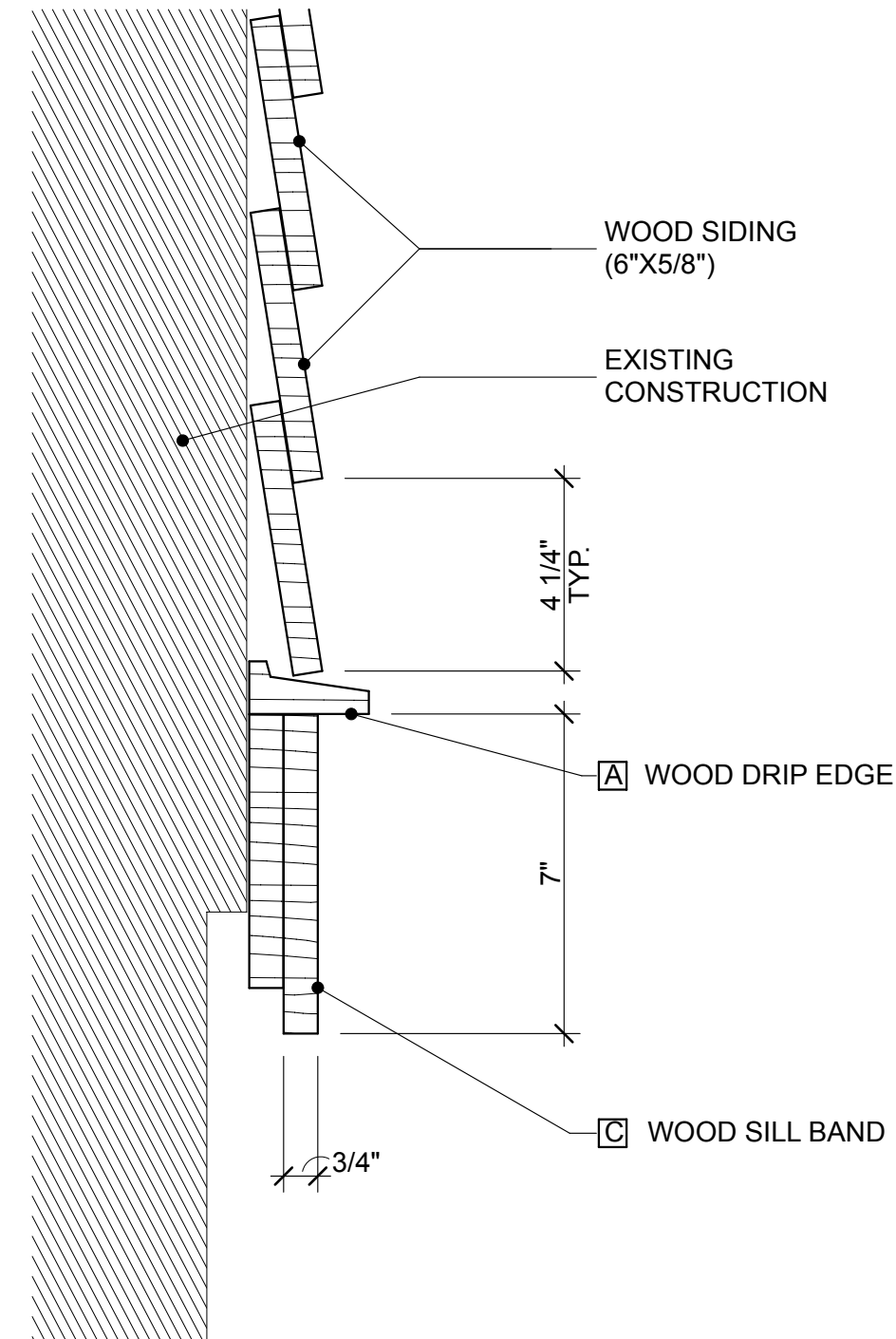
A3 WINDOW ASSEMBLY AT PICKENS STREET ADDITION
SCALE: 3" = 1'-0"



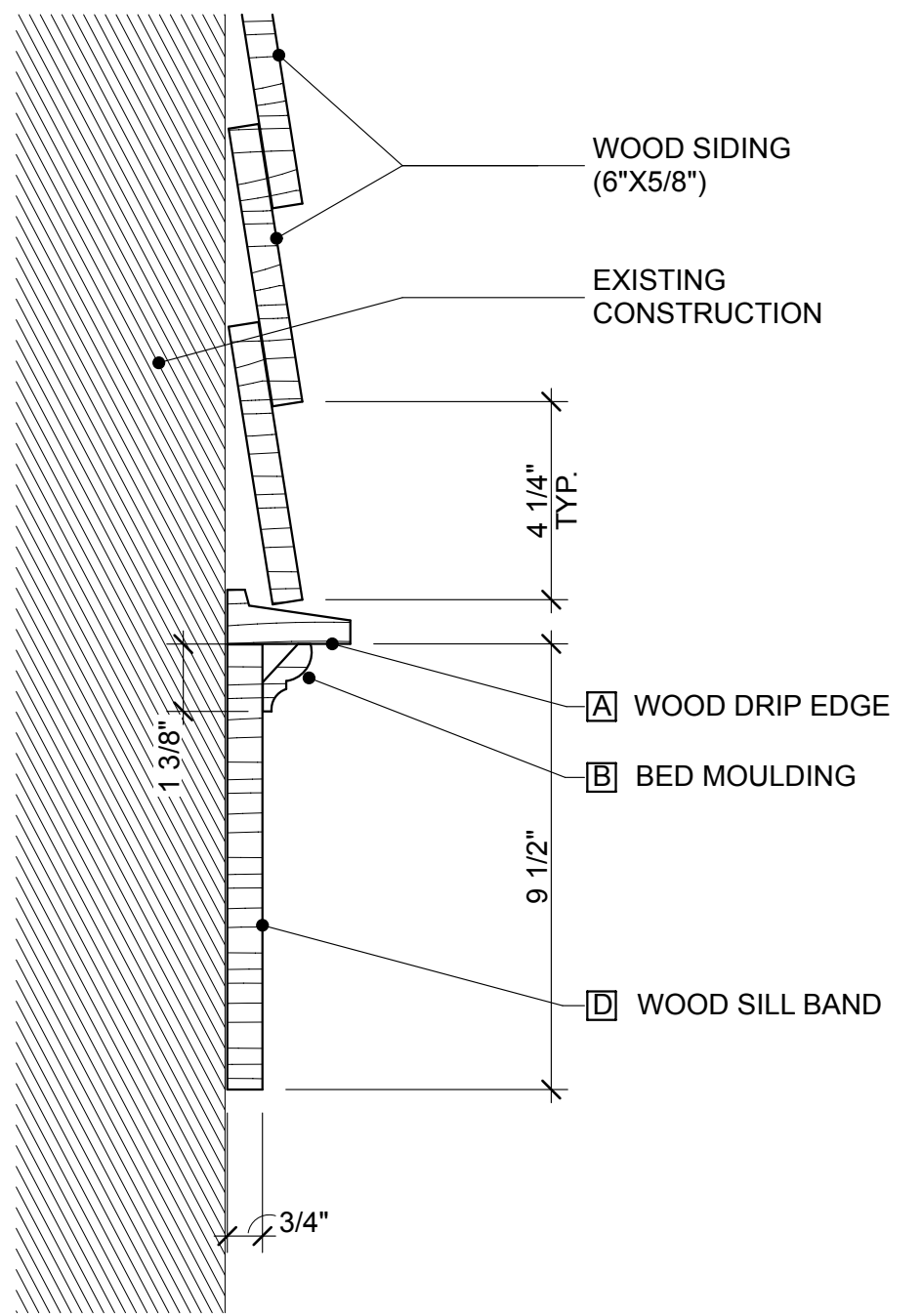
L9 TYPICAL FASCIA ASSEMBLY
SCALE: 3" = 1'-0"



I8 FASCIA ASSEMBLY AT MAIN ENTRY PORCH WITH INTERNAL GUTTER
SCALE: 3" = 1'-0"



E10 SILL BAND ASSEMBLY - 2
SCALE: 3" = 1'-0"



A10 SILL BAND ASSEMBLY - 1
SCALE: 3" = 1'-0"

GENERAL NOTES:

A. INTENT OF THIS DRAWING IS TO SHOW GENERAL CONFIGURATION OF TRIM SYSTEMS THAT WILL REQUIRE REPLACEMENT DUE TO DAMAGE / ROT. CONTRACTOR SHALL VERIFY CONSTRUCTION IN FIELD AND MATCH EXISTING COMPONENTS, U.N.Q.

B. FLASHING, SEALANTS, AND BLOCKING NOT SHOWN SHALL BE MATCHED OR MAINTAINED APPROPRIATELY.

C. DIMENSIONS SHOWN FOR GENERAL CONFIRMATION. EXACT DIMENSIONS SHOULD BE DETERMINED IN FIELD. CUSTOM MILLING AS REQUIRED.

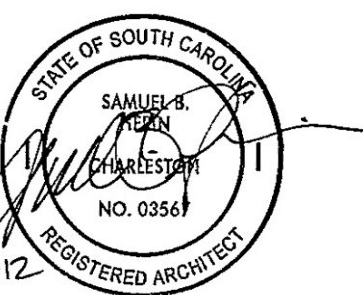
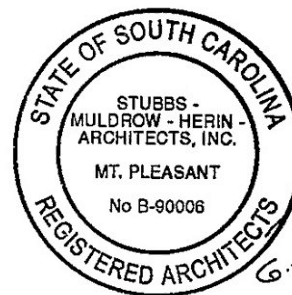
REVISIONS:

**WHALEY HOUSE
RENOVATION - EXTERIOR
STABILIZATION**

UNIVERSITY OF SOUTH CAROLINA
CHILDREN'S LAW CENTER
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TRIM PROFILES

A301