

WHALEY HOUSE RENOVATION EXTERIOR STABALIZATION

for the **UNIVERSITY OF SOUTH CAROLINA** CHILDREN'S LAW CENTER

STATE PROJECT # H27-I909

CONTRACT DOCUMENTS

Project No.: 0933.02 JUNE 8, 2012

LIST OF DRAWINGS:

TITLE SHEET

STRUCTURAL:

FIRST FLOOR PLAN

ARCHITECTURAL:

FIRST FLOOR PLAN A121 **ROOF PLAN ROOF DETAILS** SOUTH ELEVATION A202 EAST ELEVATION NORTH ELEVATION A203 WEST ELEVATION A204

TRIM PROFILES

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	IAW	IN ACCORDANCE WITH
BO BRG	BOTTOM OF BEARING	MANF MAX	MANUFACTURER MAXIMUM
CJ CL CMU CONT	CONTROL JOINT CENTERLINE CONCRETE MASONRY UNIT CONTINUOUS	MIN MO MSL MTD	MINIMUM MASONRY OPENING MEAN SEA LEVEL MOUNTED
DIA	DIAMETER	NIC NTS	NOT IN CONTRACT NOT TO SCALE
DR EJ	DOOR EXPANSION JOINT	OC OH	ON CENTER OPPOSITE HAND
ELEC EOS	ELECTRICAL EDGE OF SLAB	PR	PAIR
EQ	EQUAL	RM RO	ROOM ROUGH OPENING
FD FF FG FOB	FLOOR DRAIN FINISH FLOOR FINISH GRADE FACE OF BRICK	SAB SIM STOR	SOUND ATTENUATION BLANKETS SIMILAR STORAGE
FOE FOS FV	FACE OF BRICK FACE OF EXISTING FACE OF STUD FIELD VERIFY	TEMP(T) TO TOS	TEMPERED TOP OF TOP OF STEEL
GA GC	GAUGE GENERAL CONTRACTOR	TRTD TYP	TREATED TYPICAL
GB GALV	GYPSUM BOARD GALVANIZED	UNO	UNLESS NOTED OTHERWISE
НС	HANDICAP	VTR	VENT THROUGH ROOF
HM HR	HOLLOW METAL HOUR	W/O W/	WITHOUT WITH

WATER HEATER

STRUCTURAL:

ADC Engineering, Inc. 401 Western Lane, Suite 9C Irmo, SC 29063

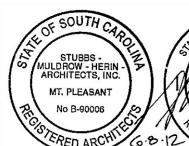
(803)-732-7080

ABATEMENT CONSULTANT:

F&ME Consultants

Geotechnical / Environmental / Materials 3112 Devine Street Columbia, SC 29205

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PHASE: CONTRACT DOCUMENTS

TITLE SHEET

FRAMING GENERAL NOTES (THIS SHEET ONLY)
 INFORMATION GIVEN HEREIN IS FOR BIDDING PURPOSES ONLY. NO REPAIRS SHALL COMMENSE WITHOUT WRITTEN DIRECTION FROM A/E

 CONTACT A/E FOR STRUCTURAL REVIEW OF EXISTING CONDITIONS IMMEDIATELY UPON COMPLETING CRAWL SPACE ABATEMENT AND INSTALLING CONTAINMENT MEMBRANE

SHORING SHALL BE UTILIZED AS REQUIRED TO COMPLETE THE WORK.
CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN AND
IMPLEMENTATION OF ALL SHORING

KEYED NOTES (THIS SHEET ONLY) REMOVE EXISTING DAMAGED LEDGER AND REPLACE WITH TRIPLE 2x10'S (TD)

BEARING ON EXISTING PIERS BELOW (SPLICE AS REQUIRED OVER BEARING POINTS)

- 2 AT EACH EXISTING FLOOR JOIST INDICATED, A NEW FULL LENGTH 2x10 SHALL BE SISTERED TO THE EXISTING JOIST W/ (3)-ROWS 16d SINKER NAILS @ 9" O.C. NEW JOISTS SHALL BE GLUED (ASTM D3498) TO EXISTING JOISTS AND TO SHEATHING ABOVE. ATTACH NEW/EXISTING SISTERED JOISTS TO NEW LEDGER W/ SIMPSON LUS210-2 FACE MOUNT JOIST HANGERS (MAX NAILS)
- 3 REMOVE EXISTING DAMAGED LEDGER AND REPLACE WITH TRIPLE 2x12'S (TD)
 BEARING ON EXISTING PIERS BELOW (SPLICE AS REQUIRED OVER BEARING
 POINTS). EXTEND DEPTH WITH MULTI-PLY FLATWISE 2x6'S AS REQUIRED TO
 MATCH EXISTING DEPTH. ATTACH EXISTING JOISTS TO NEW LEDGER W/
 SIMPSON LUS210 FACE MOUNT JOIST HANGERS (MAX NAILS)

ATEO

GENERAL NOTES

1. STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF PROJECT DOCUMENTS, INCLUDING ALL SHOP DRAWING SUBMITTALS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING DIMENSIONS, CLEARANCES AND ALL OTHER COORDINATION ISSUES WITH OTHER TRADES.
 IN CASE OF CONFLICT BETWEEN VARIOUS STRUCTURAL DRAWINGS, STRUCTURAL PLANS, OR STRUCTURAL DETAILS

THE MORE STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MORE COSTLY CONDITION.

CONDITION.

4. ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, EXISTING ELEMENT LOCATIONS, AND EXISTING ELEMENT GEOMETRY SHOWN ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL ELEMENTS.

7. ALL NOTES, DETAILS AND SECTIONS ARE INTENDED TO BE TYPICAL FOR THE GENERAL CONDITIONS INDICATED OR

5. IN CASE OF CONFLICT BETWEEN DRAWINGS, DRAWING NOTES, AND SPECIFICATIONS THE MORE STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MORE COSTLY CONDITION.

6. WORK NOT INDICATED ON THE DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.

REFERENCED. ALL NOTES, DETAILS AND SECTIONS SHALL APPLY TO ANY SIMILAR SITUATION THROUGHOUT THE ENTIRE PROJECT UNLESS A SEPARATE NOTE, DETAIL OR SECTION IS PROVIDED.

8. REVIEW ALL PROJECT DOCUMENTS PRIOR TO EARRICATION AND START OF CONSTRUCTION, REPORT ANY

8. REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING AND IN PLACE WORK OR UTILITIES DURING

10. COORDINATE STRUCTURAL DRAWINGS WITH OTHER CONTRACT DRAWINGS, SPECIFICATIONS, OR SHOP DRAWINGS WHICH MAY AFFECT THE STRUCTURAL WORK.

11. USE OF REPRODUCED CONTRACT DRAWINGS IN PART OR WHOLE FOR THE PURPOSE OF SHOP DRAWING PREPARATION SHALL NOT RELIEVE THE CONTRACTOR OR SUBCONTRACTOR FROM THE REQUIREMENT TO ACCURATELY LAYOUT, COORDINATE, DETAIL, FABRICATE AND INSTALL A COMPLETE STRUCTURE.

12. ALL SUBMITTALS SHALL BE REVIEWED BY THE SUBCONTRACTOR AND CONTRACTOR FOR CONFORMANCE TO THE CONTRACT DOCUMENTS, FOR COMPLETENESS, AND TO RESPOND TO CONTRACTOR COORDINATION RELATED QUESTIONS PRIOR TO SUBMITTING FOR APPROVAL. ALL SHEETS SHALL BE STAMPED AND INITIALED BY THE

CONTRACTOR INDICATING SUCH A REVIEW HAS BEEN COMPLETED PRIOR TO ISSUING SUBMITTAL FOR APPROVAL.

13. CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL.

ROUGH CARPENTRY

- 1. ALL PLIES OF MULTI-PLY MEMBERS (DBL, TRPL, ETC.) SHALL BE GLUED TOGETHER WITH WATERPROOF CONSTRUCTION ADHESIVE (ASTM D3498) AND FASTENED WITH (3)-ROWS OF 16D
- "SINKER" NAILS AT 9" O.C. UNO.

 2. ALL CONNECTIONS FOR WOOD MEMBERS SHALL BE PER IBC 2006 TABLE 2304.9.1 EXCEPT WHERE NOTED OTHERWISE
- NOTED OTHERWISE
 3. ALL CLIPS AND HANGERS SHALL BE INSTALLED WITH MAX NAILS OF NUMBER AND SIZE AS
- INDICATED IN MANUFACTURER'S CATALOG UNO.

 4. THE BASIS OF DESIGN PRODUCT IS LISTED FOR ALL METAL FRAMING ANCHORS. CONTRACTOR MAY SUBMIT EQUIVALENT PROPRIETARY CONNECTORS FOR USE SUBJECT TO EOR APPROVAL.

REVISIONS:

WHALEY HOUSE - STABILIZATION

COLUMBIA, SC



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PROJECT NO: 0933.02 DRAWN BY: JBJ/KMM ISSUE DATE: 6/6/12

PHASE: 6/6/12 PROGRESS

FIRST FLOOR PLAN

GENERAL NOTES:

A. REFERENCE SPECIFICATIONS AND ELEVATIONS FOR SCOPE OF WORK AT EXTERIOR FINISHES AND ELSEWHERE, INCLUDING ADDITIONAL DEMOLITION.

B. ALL DOORS TO RECEIVE LEVEL 1 PAINT REMOVAL

DEMOLITION NOTES: (APPLY TO THIS SHEET ONLY)

EXPOSED CAVITIES.

1 REMOVE EXITING METAL STAIR

RENOVATION NOTES: (APPLY TO THIS SHEET ONLY)

- REPLACE DAMAGED OR ROTTEN WALL FRAMING AND/OR SHEATHING. ASSUME APPROXIMATELY 30% TO BE REPLACED IN AREA INDICATED FOR BIDDING PURPOSES. SEE ALSO UNIT PRICE SECTION OF SPECIFICATIONS. R-19 BATT INSULATION SHOULD BE INSTALLED AT ANY
- SEE STRUCTURAL FOR DAMAGED OR ROTTEN STRUCTURAL FLOOR JOIST AND BEAM REPLACEMENT.
- DOORS SHALL BE REMOVED, RECEIVE A LEVEL 2 PAINT 3 REMOVAL AND REINSTALLED. ALL OTHER DOORS SHALL RECEIVE A LEVEL 1 PAINT REMOVAL U.N.O.
- DOORS TO BE REMOVED, REFINISHED AND REINSTALLED.

CONSTRUCTION NOTES: (APPLY TO THIS SHEET ONLY)

1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLASTIC ASBESTOS CONTAINMENT BARRIER AT ENTIRE CRAWL SPACE. WHERE ACCESS IS REQUIRED CONTRACTOR SHALL USE PLYWOOD FOR PROTECTION OF BARRIER. ANY PUNCTURES OR DISCONTINUITIES

SHALL BE PATCHED AND SEALED IN ACCORDANCE WITH

ALTERNATES:

CISC HAZMAT.

NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER. DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.

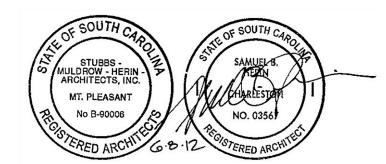
REVISIONS:

WHALEY HOUSE **RENOVATION - EXTERIOR STABALIZATION**

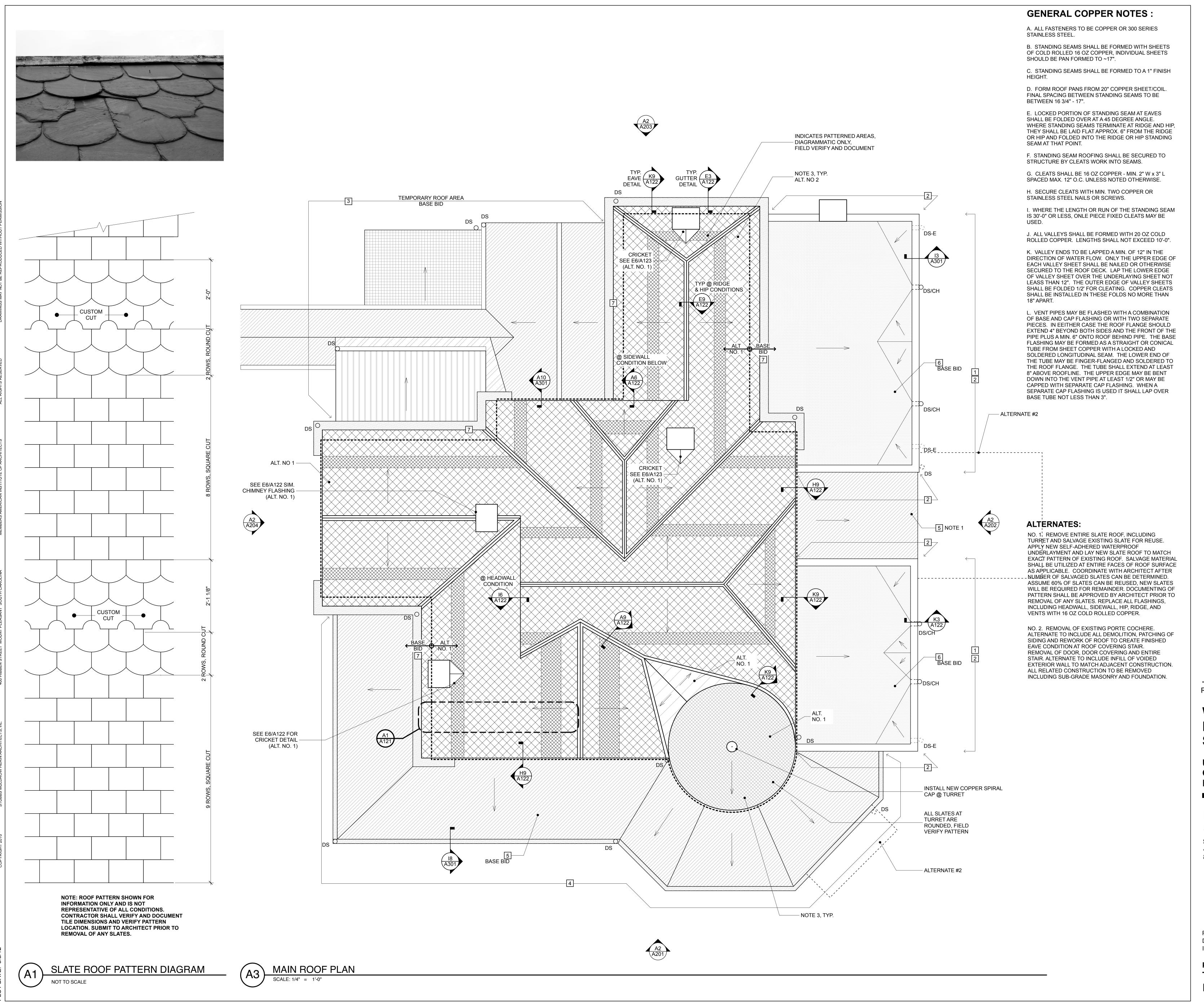
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PROJECT NO: 0933.02 DRAWN BY: GHC ISSUE DATE: 06/08/12



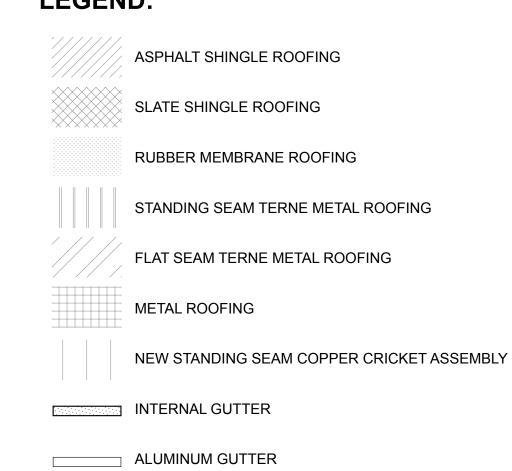
GENERAL NOTES :

A. ALL EXISTING DOWNSPOUTS AND EXTERNAL GUTTERS TO BE REMOVED AND REPLACED.

B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.

C. SEE SPECIFICATIONS FOR TYPES OF COPPER AND APPLICABLE LOCATIONS.

LEGEND:



→ INDICATES SLOPE OF ROOF

CONSTRUCTION NOTES:

DOWNSPOUT

BASE BID SHALL INCLUDE REROOFING THIS AREA AND EXISTING PORTE COCHERE WITH SINGLY PLY ROOF

CONDUCTOR HEAD- COPPER

DOWNSPOUT - EXISTING LOCATION, TO BE REMOVED

RENOVATION NOTES:

(APPLY TO THIS SHEET ONLY)

MEMBRANE.

REPLACE ANY DAMAGED OR ROTTEN ROOF FRAMING/ SHEATHING. ASSUME APPROXIMATELY 10% TO BE REPLACED IN AREA SHOWN.

DECORATIVE PARAPET SHALL BE RECONFIGURED FOR WATERTIGHT CONSTRUCTION. THIS WILL REQUIRE DISASSEMBLY OF SYSTEM INCLUDING REMOVAL OF COPING AND TRIM TO DETERMINE EXISTING

COPING AND TRIM TO DETERMINE EXISTING

CONFIGURATION AND DEVELOP PLAN FOR WATERTIGHT

RECONSTRUCTION. COORDINATE WITH ARCHITECT.

AREA CONSIDERED TEMPORARY ROOF. ASPHALT

SHINGLES SHALL REMAIN, LOWER, LOW-SLOPE METAL ROOF COVERING AS WELL AS TERNE METAL STANDING

SEAM AND FLAT SEAM AREAS SHALL BE COATED WITH

FLUID APPLIED WATERPROOFING.

REMOVE EXISTING INTERNAL GUTTER AND REPLACE WITH COPPER. MATCH GENERAL PROFILE.

REMOVE EXISTING ROOF. PROVIDE

5 30# FELT UNDERLAYMENT AND 30 YR ARCHITECTURAL SHINGLE ROOF.

REMOVE EXISTING ROOF. REROOF AREA WITH 1" HIGH DENSITY EXTRUDED POLYSTYRENE RIGID INSULATION BOARD AND FULLY ADHERED SINGLE-PLY ROOF MEMBRANE. PROVIDE POSITIVE DRAINAGE AS SHOWN. PROVIDE NEW OUTLETS, CONDUCTOR HEADS, DOWNSPOUTS, FLASHINGS AND COPINGS OF 16 OZ

BASE BID AT SLATE ROOF SHALL INCLUDE REMOVAL OF 2 COURSES OF SLATE AT ALL EAVE CONDITIONS, REPLACEMENT OF ALL INTERNAL GUTTERS AND DOWNSPOUTS, REPAIR OF WOOD SHEATHING AND INTERNAL GUTTER FRAMING, INSTALLATION OF

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WHALEY HOUSE RENOVATION - EXTERIOR STABALIZATION

SPECIFIED UNDERLAYMENT AND A TEMPORARY

GRANULAR CAP SHEET AS SPECIFIED.

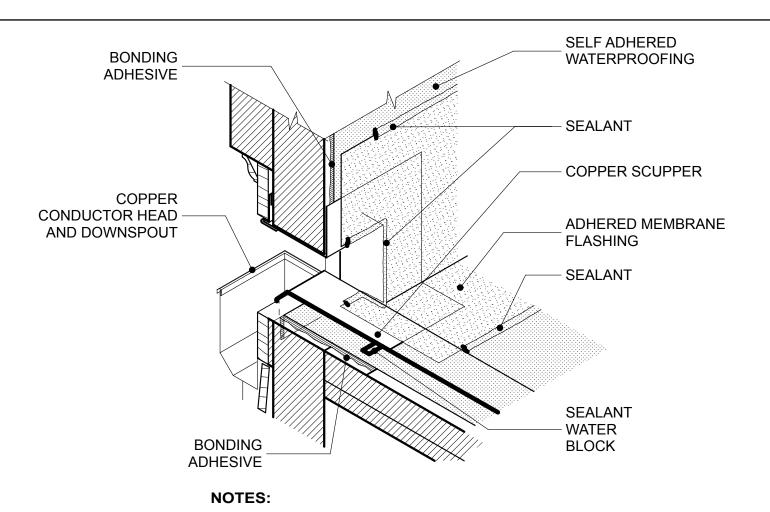
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- CONDUCTOR HEAD TO BE 1 INCH MINIMUM BELOW BOTTOM OF THROUGH-WALL SCUPPER.
- REFER TO SECTION NRCA 10.1--INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ALTERNATIVE BASE SECUREMENT OPTIONS.
- REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING--2010 FOR DESIGN, JOINERY AND SECUREMENT OPTIONS FOR SCUPPERS.
- REFER TO SECTION NRCA 10.1--INFORMATION APPLICABLE TO ALL CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

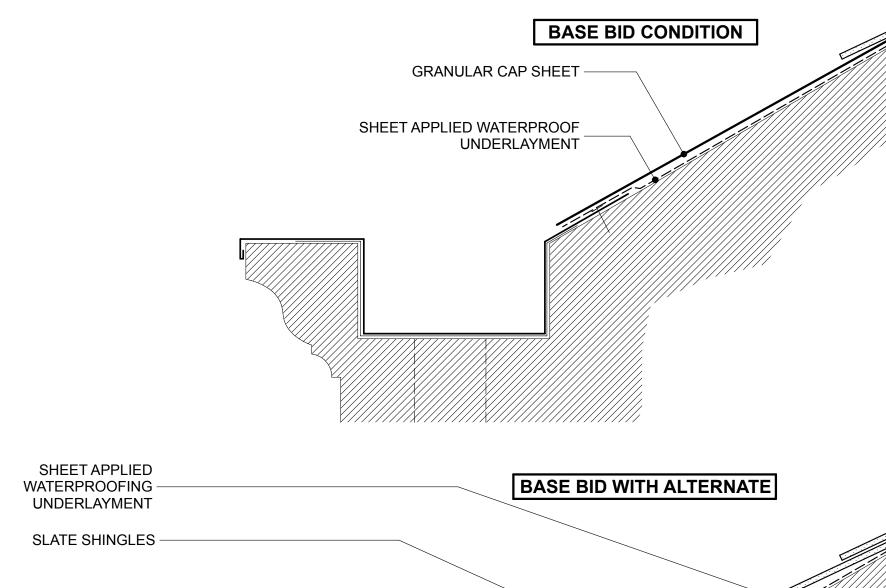
BASE FLASHING AT SCUPPER AND CONDUCTOR HEAD NOT TO SCALE

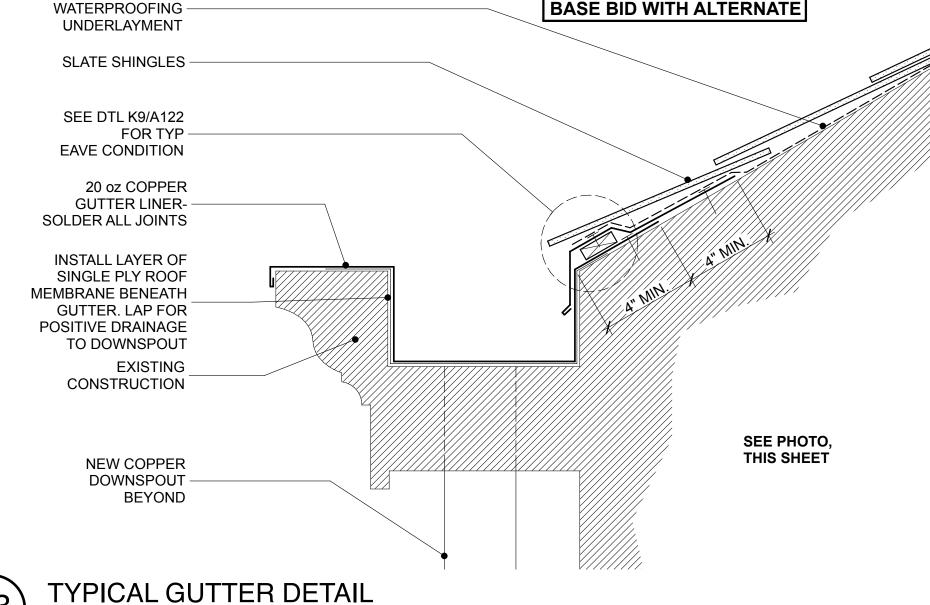


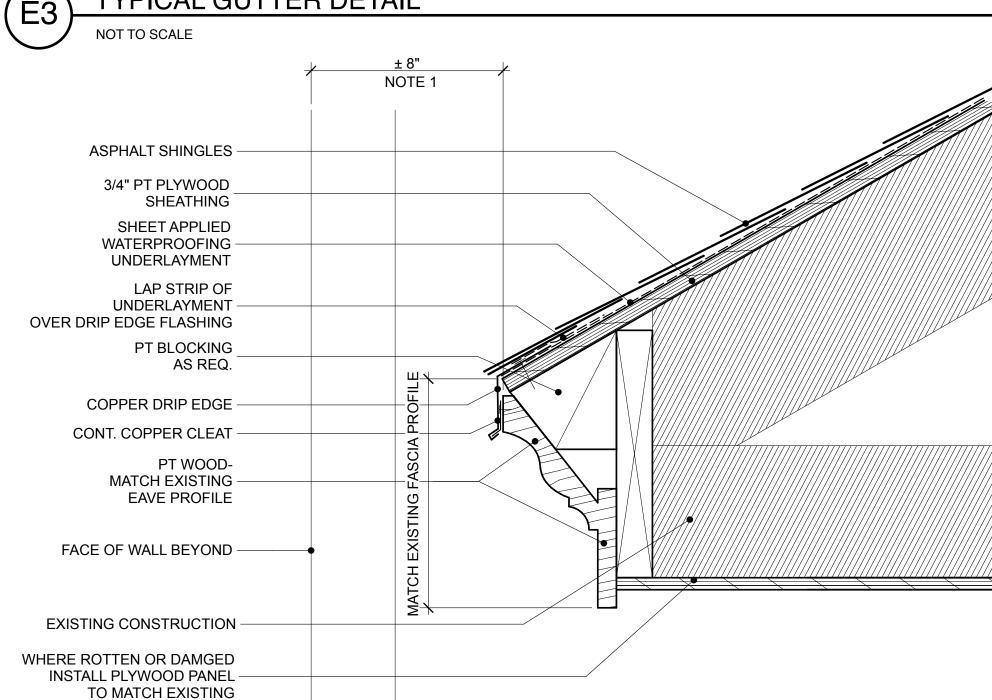






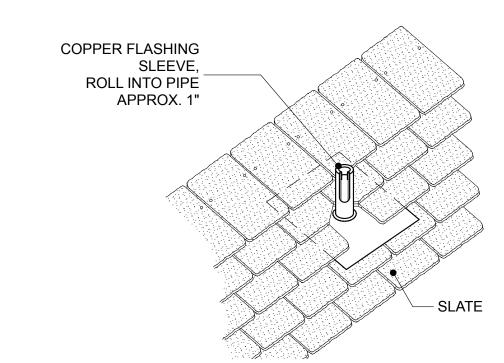






ENTRY EAVE DETAIL

NOT TO SCALE

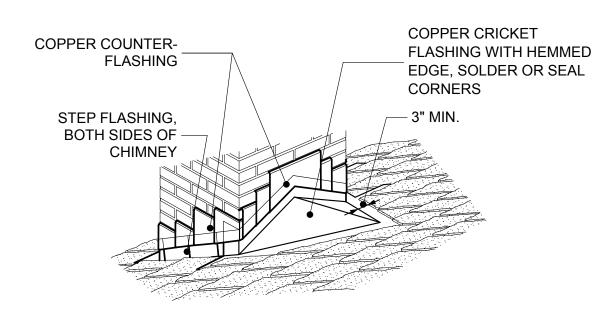


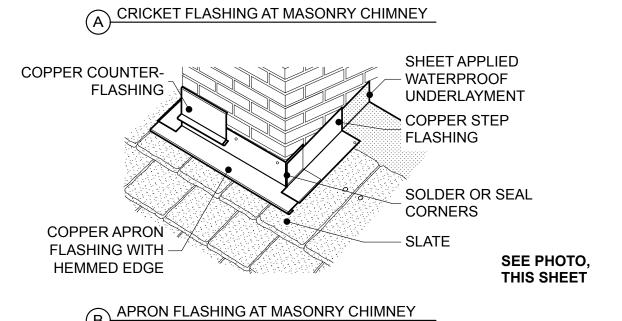
TYPICAL VENT PIPE PENETRATION DETAIL NOT TO SCALE WALL SIDING/CLADDING NOT SHOWN FOR CLARITY, SEE GENERAL NOTE F WATERPROOFING TWO-PIECE COPPER MEMBRANE STRIP, COUNTER FLASHING, - OVERLAP OVERLAP STEP FLASHING COUNTERFLASHING MIN. 2' COPPER FLASHING WITH -HEMMED EDGE APPROX. 4" -**APPROPRIATE FASTENERS** PT NAILER, THICKNESS TO SLATE MATCH SLATE

1. FOR SECUREMENT AND JOINERY OPTIONS FOR SHEET METAL, REFER TO THE ARCHITECTURAL SHEET METAL SECTION OF THE NRCA ROOFING AND WATERPROOFING MANUAL, FIFTH EDITION. THIS SECTION WILL BE SUPERSEDED BY THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, MOISTURE CONTROL AND REROOFING--2010.

WATERPROOFING **MEMBRANE** UP WALL MIN. 4"

TYPICAL HEADWALL DETAIL NOT TO SCALE





(E6

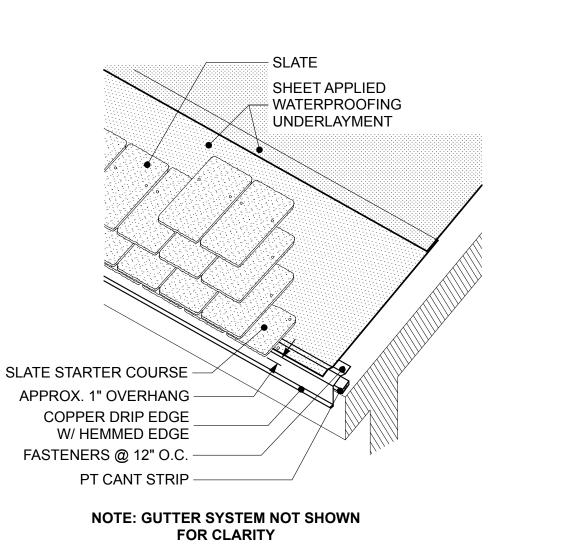
NOT TO SCALE

CHIMNEY CRICKET DETAIL

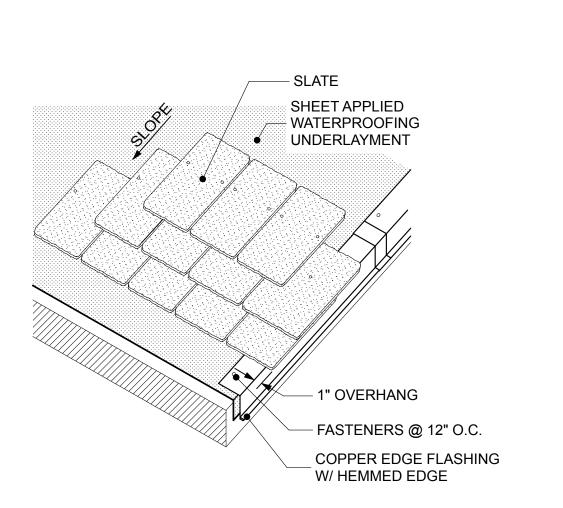
WATERPROOFING MEMBRANE STRIP, COUNTERFLASHING WALL SIDING/CLADDING TWO PIECE COPPER NOT SHOWN FOR CLARITY, COUNTERFLASHING, SEE GENERAL NOTE F OVERLAP STEP FLASHING FASTENERS COPPER STEP FLASHING AT EACH COURSE TURN WATERPROOFING MEMBRANE UP WALL MIN. 4" SEE PHOTO, MAINTAIN 1" ABOVE THIS SHEET ROOF SURFACE SLATE -

1. FOR SECUREMENT AND JOINERY OPTIONS FOR SHEET METAL, REFER TO THE ARCHITECTURAL SHEET METAL SECTION OF THE NRCA ROOFING AND WATERPROOFING MANUAL, FIFTH EDITION. THIS SECTION WILL BE SUPERSEDED BY THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, MOISTURE CONTROL AND REROOFING--2010.

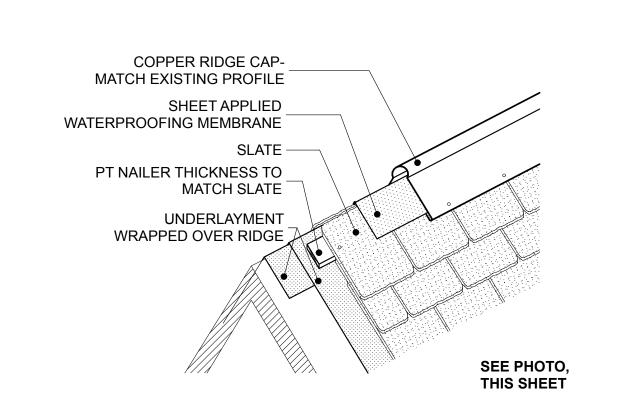
TYPICAL SIDEWALL DETAIL NOT TO SCALE



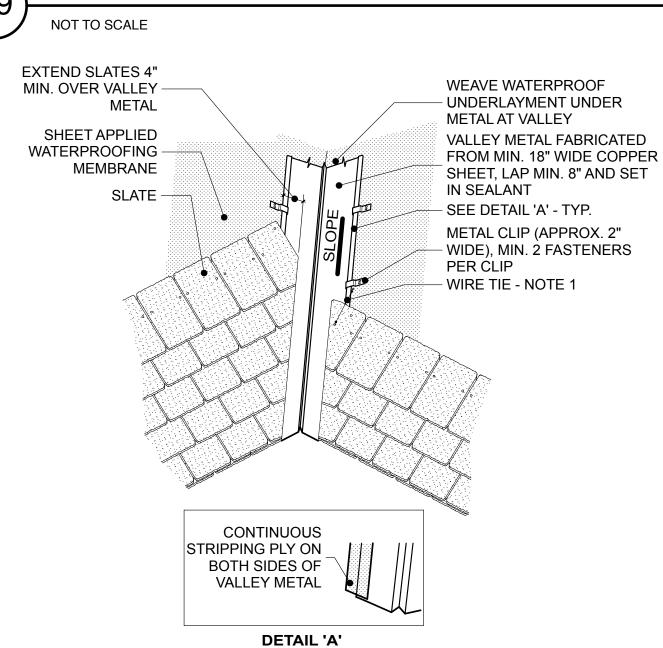
TYPICAL EAVE DETAIL



TYPICAL RAKE DETAIL NOT TO SCALE



TYPICAL HIP/RIDGE DETAIL



SLATE SHOULD NOT BE FASTENED THROUGH THE VALLEY METAL. USE WIRE-TIED SYSTEM.

TYPICAL VALLEY DETAIL

GENERAL NOTES:

PENETRATIONS.

A. IN THE ABSENCE OF A DETAIL OF ANY CONDITION ON THE ROOF THE MOST STRINGENT CONDITION OF NRCA/SMACNA SHALL APPLY. IN NO CASE SHALL THE CONCEPT SET FORTH IN THE NRCA MANUAL NOT BE FOLLOWED FOR A PROFESSIONALLY EXECUTED AND

WATER TIGHT CONDITION. B. ANY CLARIFICATION IN REFERENCE TO SHEET METAL

REQUIREMENTS OF THIS JOB SHALL FOLLOW RECOMMENDATIONS

C. ANY CLARIFICATION IN REFERENCE TO METAL ROOF REQUIREMENTS OF THIS JOB SHALL FOLLOW RECOMMENDATIONS AND GUIDELINES OF NRCA ROOFING MANUAL, 4TH EDITION. D. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND ALL

AND GUIDELINES OF THE SMACNA MANUAL, 5TH EDITION.

E. ALL TRADES MAKING PENETRATIONS THROUGH THE ROOF SHALL COORDINATE LOCATIONS AND DETAILS WITH ROOF INSTALLER.

F. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD, DO NOT NAIL THROUGH METAL FLASHINGS.

G. SOME DETAILS SHOWN ARE FOR USE WITH ALTERNATE NO. 1 H. REFERENCE SPECIFICATIONS FOR TYPE OF SOPPER TO BE USED AT EACH APPLICATION.

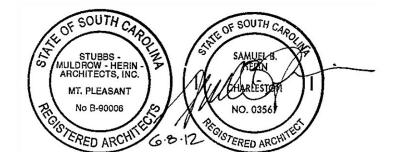
REVISIONS:

WHALEY HOUSE **RENOVATION - EXTERIOR STABALIZATION**

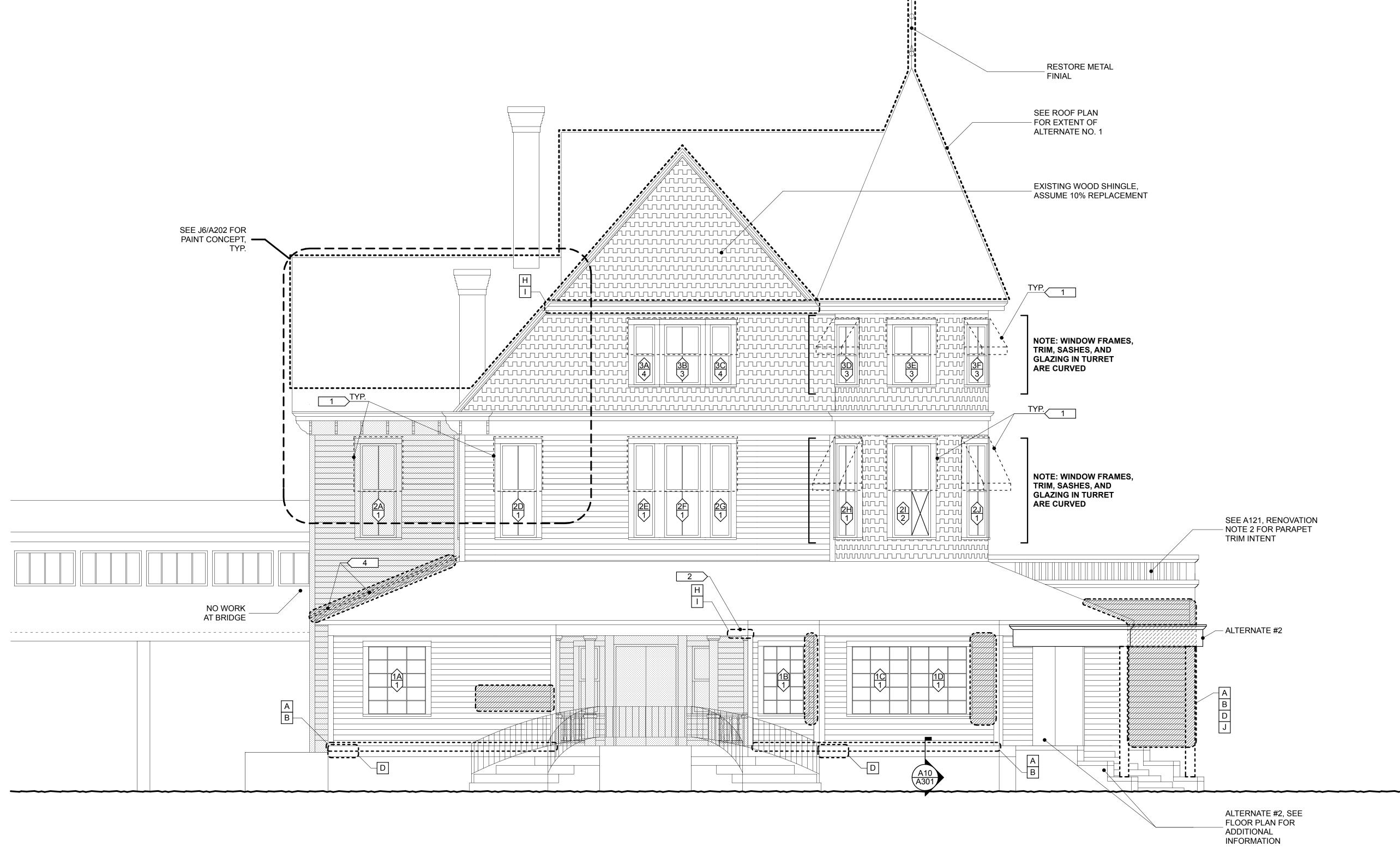
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SOUTH ELEVATION

ALTERNATES:

NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER. DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.

GENERAL NOTES:

A. ALL AREAS, INCLUDING WINDOW FRAMES, TO RECEIVE LEVEL 1 PAINT REMOVAL, UNLESS NOTED OTHERWISE.

B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.

C. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD, DO NOT NAIL THROUGH METAL FLASHINGS.

D. SEE SPECIFICATIONS FOR SHEATHING AND WEATHER BARRIER REQUIREMENTS WHERE REPLACEMENT HAS EXPOSED DAMAGE OR ROT OF EXISTING COMPONENTS.

LEGEND:



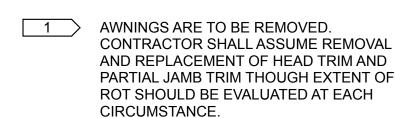
HATCHED AREAS ARE FOR NOTING MISSING / DAMAGED AREAS OF WOOD SIDING OR WALL SHAKES. HATCHED AREAS ARE NOT TO BE CONSTRUED AS DEFINING LIMIT OF WORK BUT SERVE ONLY TO HIGHLIGHT PARTICULAR AREAS OF CONCERN. REMOVE DAMAGED WOOD. FOR GENERAL CALCULATION, DRAWING IS TO SCALE.

SHADED AREAS TO RECEIVE LEVEL 2 PAINT REMOVAL

INDICATES MISSING / DAMAGED PANE OF GLASS

— INDICATES WINDOW IDENTIFICATION X REFERENCE WINDOW NOTES

DEMOLITION NOTES:



2 DEMOLITION SHALL INCLUDE DAMAGED SOFFIT IN THIS AREA.

3 NOT USED

4 REMOVE ALL EXTRANEOUS ELECTRICAL CONDUIT, PLUMBING VENTS, OR BUILDING MOUNTED APPURTANANCES.

REPLACEMENT NOTES:

A REPLACE DAMAGED AREAS OF WOOD DRIP EDGE

REPLACE DAMAGED AREAS OF BED MOULDING

REPLACE DAMAGED AREAS OF SILL TRIM (9 1/2"x3/4")

REPLACE DAMAGED AREAS OF FASCIA TRIM

REPLACE DAMAGED AREAS OF CROWN MOULDING

REPLACE DAMAGED AREAS OF CORNER TRIM

WINDOW NOTES:

ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED.

ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED. MISSING / DAMAGED GLASS TO BE REPLACED. REMOVE PLYWOOD COVER IF

REMOVE ROTTEN SASH(ES) AND STORE ON SITE IN SECURE LOCATION. SALVAGE IN-TACT GLASS FOR REUSE. REMOVE PLYWOOD COVER IF PRESENT.

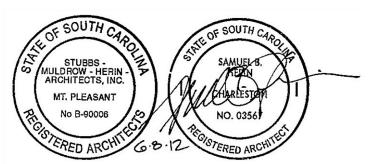
EXACT SASH(ES) HAVE NOT BE IDENTIFIED. CONTRACTOR TO ASSUME EIGHT SASHES WILL REQUIRE PATCH-IN-PLACE REPAIR.

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ALTERNATES:

NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER. DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.

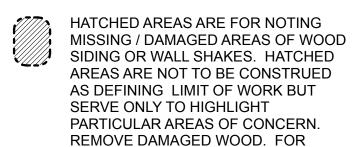
GENERAL NOTES: A. ALL AREAS, INCLUDING WINDOW FRAMES, TO RECEIVE LEVEL 1 PAINT REMOVAL, UNLESS NOTED OTHERWISE.

B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.

C. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD, DO NOT NAIL THROUGH METAL FLASHINGS.

D. SEE SPECIFICATIONS FOR SHEATHING AND WEATHER BARRIER REQUIREMENTS WHERE REPLACEMENT HAS EXPOSED DAMAGE OR ROT OF EXISTING COMPONENTS.

LEGEND:



SHADED AREAS TO RECEIVE LEVEL 2 PAINT REMOVAL

TO SCALE.

INDICATES IN OF GLASS INDICATES MISSING / DAMAGED PANE

GENERAL CALCULATION, DRAWING IS

INDICATES WINDOW IDENTIFICATION

DEMOLITION NOTES:

REFERENCE WINDOW NOTES

1 AWNINGS ARE TO BE REMOVED. CONTRACTOR SHALL ASSUME REMOVAL AND REPLACEMENT OF HEAD TRIM AND PARTIAL JAMB TRIM THOUGH EXTENT OF ROT SHOULD BE EVALUATED AT EACH CIRCUMSTANCE.

REPLACEMENT NOTES: (_______X

REPLACE DAMAGED AREAS OF WOOD DRIP EDGE

REPLACE DAMAGED AREAS OF

BED MOULDING

REPLACE DAMAGED AREAS OF SILL TRIM (9 1/2"x3/4")

REPLACE DAMAGED AREAS OF

REPLACE DAMAGED AREAS OF WINDOW

REPLACE DAMAGED AREAS OF COVE MOULDING

REPLACE DAMAGED AREAS OF CROWN MOULDING

REPLACE DAMAGED AREAS OF CORNER TRIM

REPLACE DAMAGED AREAS OF PARAPET TRIM

WINDOW NOTES:

ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED.

REMOVE ROTTEN SASH(ES) AND STORE ON SITE IN SECURE LOCATION. SALVAGE IN-TACT GLASS FOR REUSE. REMOVE PLYWOOD COVER IF PRESENT.

EXACT SASH(ES) HAVE NOT BE IDENTIFIED. CONTRACTOR TO ASSUME EIGHT SASHES WILL REQUIRE PATCH-IN-PLACE REPAIR.

REMOVE ENTIRE WINDOW IF ROTTED BEYOND REPAIR. COORDINATE WITH ARCHITECT.

REVISIONS:

WHALEY HOUSE **RENOVATION - EXTERIOR STABALIZATION**

UNIVERSITY OF SOUTH CAROLINA CHILDREN'S LAW CENTER H27-I909

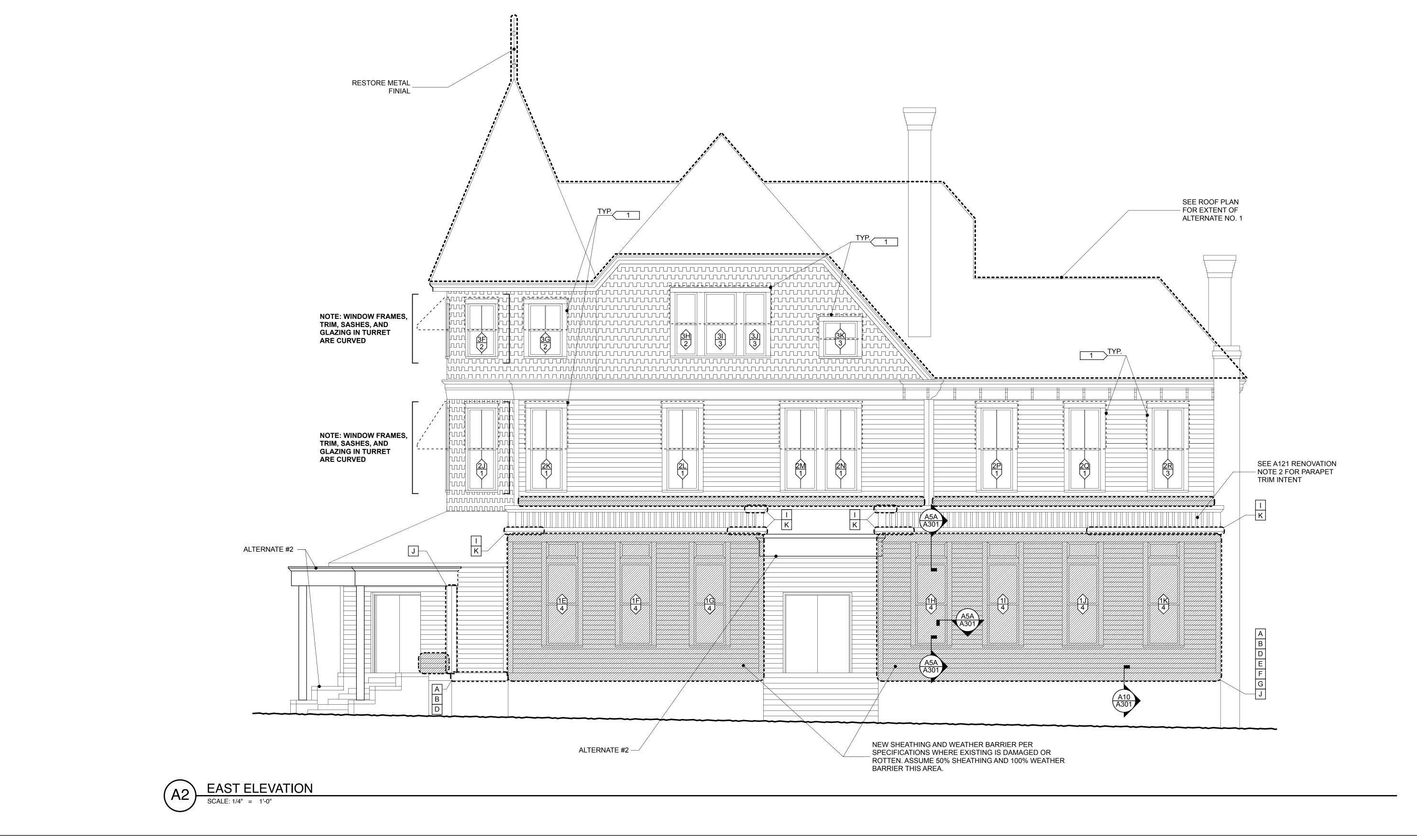
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EAST ELEVATION



A202

NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER. DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.

GENERAL NOTES: A. ALL AREAS, INCLUDING WINDOW FRAMES, TO RECEIVE LEVEL 1 PAINT REMOVAL, UNLESS NOTED OTHERWISE.

B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.

C. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD, DO NOT NAIL THROUGH METAL FLASHINGS.

D. SEE SPECIFICATIONS FOR SHEATHING AND WEATHER BARRIER REQUIREMENTS WHERE REPLACEMENT HAS EXPOSED DAMAGE OR ROT OF EXISTING COMPONENTS.

LEGEND:

The HATCHED AREAS ARE FOR NOTING MISSING / DAMAGED AREAS OF WOOD SIDING OR WALL SHAKES. HATCHED AREAS ARE NOT TO BE CONSTRUED AS DEFINING LIMIT OF WORK BUT SERVE ONLY TO HIGHLIGHT PARTICULAR AREAS OF CONCERN. REMOVE DAMAGED WOOD. FOR GENERAL CALCULATION, DRAWING IS

TO SCALE. SHADED AREAS TO RECEIVE LEVEL 2 PAINT REMOVAL

INDICATES MISSING / DAMAGED PANE OF GLASS

INDICATES WINDOW IDENTIFICATION REFERENCE WINDOW NOTES

DEMOLITION NOTES:

1 AWNINGS ARE TO BE REMOVED. CONTRACTOR SHALL ASSUME REMOVAL AND REPLACEMENT OF HEAD TRIM AND PARTIAL JAMB TRIM THOUGH EXTENT OF ROT SHOULD BE EVALUATED AT EACH CIRCUMSTANCE.

2 REMOVE PLYWOOD COVERING. CONTRACTOR SHALL ASSUME UNIT BEHIND WILL REQUIRE SAME WORK AS VISIBLE WINDOWS BUT WITH REPLACEMENT OF ALL GLASS.

3 METAL STAIRS TO BE REMOVED. CONTRACTOR SHALL ASSUME DAMAGE TO SIDING IN THESE LOCATIONS. EXTENT OF ROT SHALL BE EVALUATED AT EACH CIRCUMSTANCE.

4 REMOVE ALL EXTRANEOUS ELECTRICAL CONDUIT, PLUMBING VENTS, OR BUILDING MOUNTED APPURTANANCES. SEE PHOTO,

THIS SHEET. REPLACEMENT NOTES: X

REPLACE DAMAGED AREAS OF WOOD DRIP EDGE

REPLACE DAMAGED AREAS OF BED MOULDING

REPLACE DAMAGED AREAS OF SILL TRIM (9 1/2"x3/4")

REPLACE DAMAGED AREAS OF FASCIA TRIM REPLACE DAMAGED AREAS OF

CROWN MOULDING REPLACE DAMAGED AREAS OF CORNER TRIM

WINDOW NOTES:

ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED.

ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED. MISSING / DAMAGED GLASS TO BE REPLACED. REMOVE PLYWOOD COVER IF

REMOVE ROTTEN SASH(ES) AND STORE ON SITE IN SECURE LOCATION. SALVAGE IN-TACT GLASS FOR

CONTRACTOR SHALL ASSUME ALL GLASS AND GLAZING COMPOUND TO BE REPLACED. CONTRACTOR OPTION TO REMOVE PAINT AND SALVAGE GLASS SHALL BE EVALUATED AT EACH

CIRCUMSTANCE. REMOVE PLYWOOD COVER

IF PRESENT. CONTRACTOR TO ASSUME ONE ROTTEN SASH AND 50% MISSING / DAMAGED GLASS.

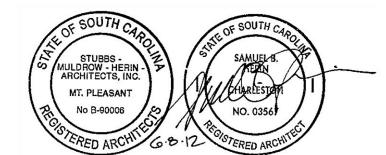
EXACT SASH(ES) HAVE NOT BE IDENTIFIED. CONTRACTOR TO ASSUME EIGHT SASHES WILL REQUIRE PATCH-IN-PLACE REPAIR.

REVISIONS:

WHALEY HOUSE **RENOVATION - EXTERIOR STABALIZATION**

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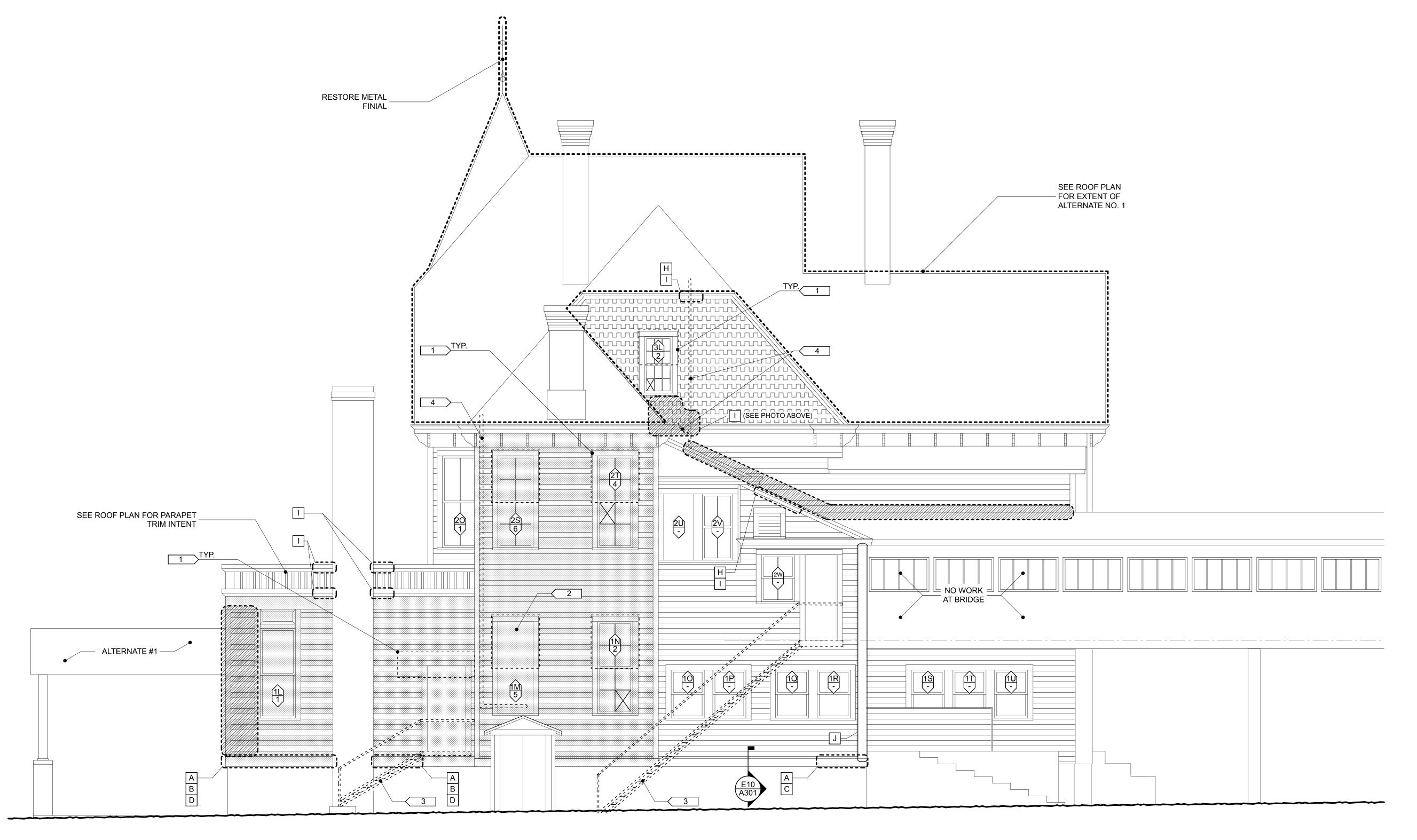


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NORTH ELEVATION





NO. 1. REMOVE ENTIRE SLATE ROOF, INCLUDING TURRET AND SALVAGE EXISTING SLATE FOR REUSE. APPLY NEW SELF-ADHERED WATERPROOF UNDERLAYMENT AND LAY NEW SLATE ROOF TO MATCH EXACT PATTERN OF EXISTING ROOF. SALVAGE MATERIAL SHALL BE UTILIZED AT ENTIRE FACES OF ROOF SURFACE AS APPLICABLE. COORDINATE WITH ARCHITECT AFTER NUMBER OF SALVAGED SLATES CAN BE DETERMINED. ASSUME 60% OF SLATES CAN BE REUSED, NEW SLATES WILL BE REQUIRED FOR REMAINDER, DOCUMENTING OF PATTERN SHALL BE APPROVED BY ARCHITECT PRIOR TO REMOVAL OF ANY SLATES. REPLACE ALL FLASHINGS, INCLUDING HEADWALL, SIDEWALL, HIP, RIDGE, AND VENTS WITH 16 OZ COLD ROLLED COPPER.

NO. 2. REMOVAL OF EXISTING PORTE COCHERE. ALTERNATE TO INCLUDE ALL DEMOLITION, PATCHING OF SIDING AND REWORK OF ROOF TO CREATE FINISHED EAVE CONDITION AT ROOF COVERING STAIR. REMOVAL OF DOOR, DOOR COVERING AND ENTIRE STAIR. ALTERNATE TO INCLUDE INFILL OF VOIDED EXTERIOR WALL TO MATCH ADJACENT CONSTRUCTION. ALL RELATED CONSTRUCTION TO BE REMOVED INCLUDING SUB-GRADE MASONRY AND FOUNDATION.

A. ALL AREAS, INCLUDING WINDOW FRAMES, TO RECEIVE LEVEL 1 PAINT REMOVAL, UNLESS NOTED OTHERWISE.

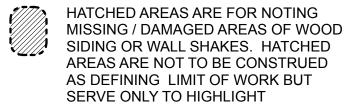
GENERAL NOTES:

B. IT IS THE INTENT THAT DRAWINGS SHOW GENERAL QUANTITIES AND LOCATIONS. CONTRACTOR SHALL REMOVE ANY DAMAGED OR ROTTEN MEMBERS THAT ARE APPARENT OR EXPOSED DUE TO CONSTRUCTION. COORDINATE WITH ARCHITECT.

C. REMOVE WOOD WALL CLADDING TO EXTEND FLASHING UP WALL TO REQUIRED DISTANCES. REINSTALL OR REPLACE WITH NEW WOOD, DO NOT NAIL THROUGH METAL FLASHINGS.

D. SEE SPECIFICATIONS FOR SHEATHING AND WEATHER BARRIER REQUIREMENTS WHERE REPLACEMENT HAS EXPOSED DAMAGE OR ROT OF EXISTING COMPONENTS.

LEGEND:



AS DEFINING LIMIT OF WORK BUT SERVE ONLY TO HIGHLIGHT PARTICULAR AREAS OF CONCERN. REMOVE DAMAGED WOOD. FOR GENERAL CALCULATION, DRAWING IS TO SCALE.

SHADED AREAS TO RECEIVE LEVEL 2 PAINT REMOVAL

INDICATES MISSING / DAMAGED PANE OF GLASS

INDICATES WINDOW IDENTIFICATION REFERENCE WINDOW NOTES

DEMOLITION NOTES:

1 AWNINGS ARE TO BE REMOVED. CONTRACTOR SHALL ASSUME REMOVAL AND REPLACEMENT OF HEAD TRIM AND PARTIAL JAMB TRIM THOUGH EXTENT OF ROT SHOULD BE EVALUATED AT EACH CIRCUMSTANCE.

> REMOVE LOUVER AND STORE IN A SECURE, ON-SITE LOCATION. COVER OPENING WITH TEMPORARY PLYWOOD COVER, CUT TO FIT OPENING.

3 REMOVE ALL EXTRANEOUS ELECTRICAL CONDUIT, PLUMBING VENTS, OR BUILDING MOUNTED APPURTANANCES.

REPLACEMENT NOTES: (_____X

REPLACE DAMAGED AREAS OF WOOD DRIP EDGE

REPLACE DAMAGED AREAS OF BED MOULDING

REPLACE DAMAGED AREAS OF SILL TRIM (9 1/2"x3/4")

REPLACE DAMAGED AREAS OF FASCIA TRIM

REPLACE DAMAGED AREAS OF CROWN MOULDING

J REPLACE DAMAGED AREAS OF CORNER TRIM

WINDOW NOTES:

ALL GLAZING COMPOUND SHALL BE REMOVED AND REPLACED.

THIS WINDOW IS WITHIN THE TEMPORARY STABILIZATION AREA. ENSURE WEATHERPROOF, PLYWOOD OR OTHER MEANS ARE ACCEPTABLE

REMOVE ROTTEN SASH(ES) AND STORE ON SITE IN SECURE LOCATION. SALVAGE IN-TACT GLASS FOR

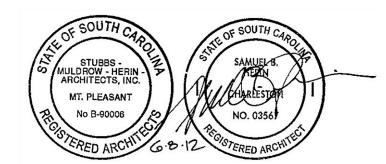
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REVISIONS:

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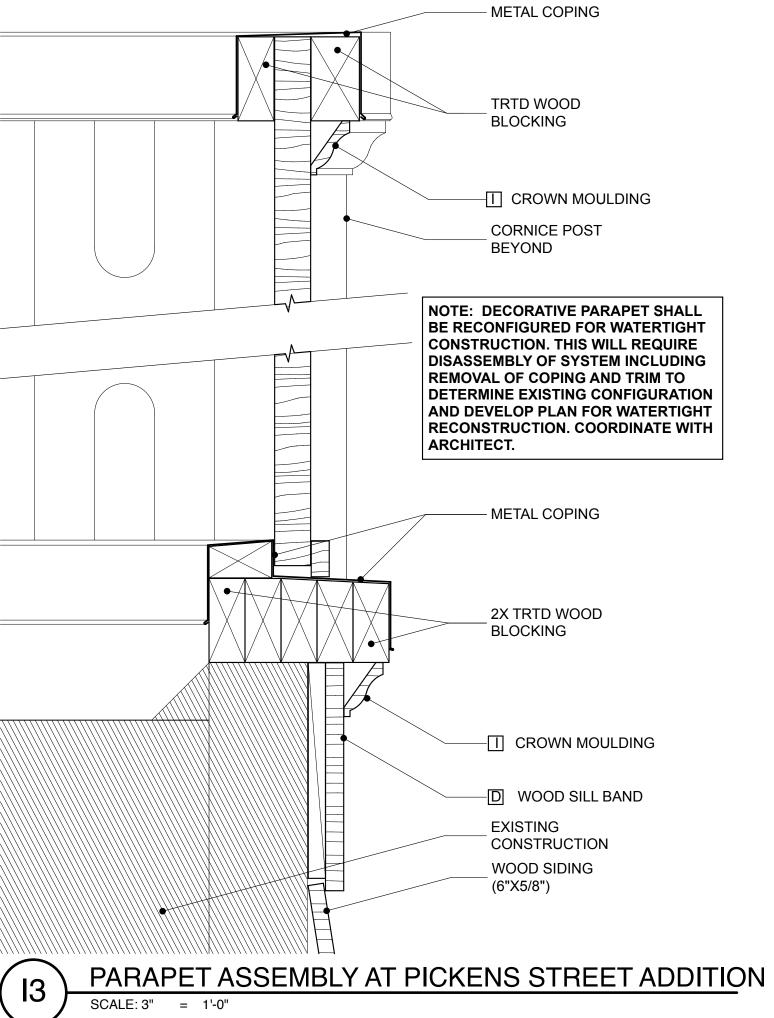
WEST ELEVATION

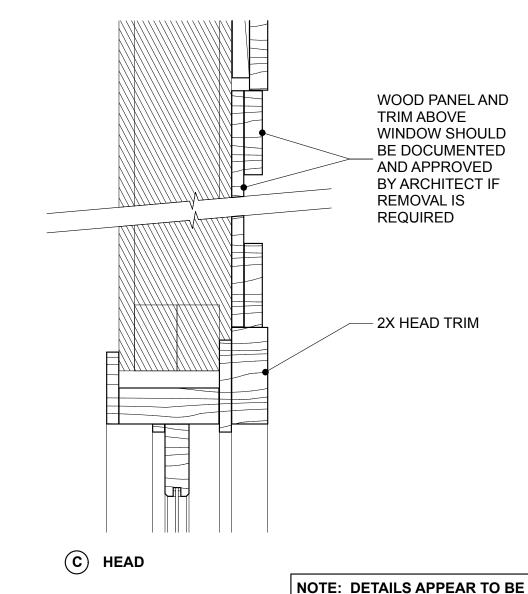






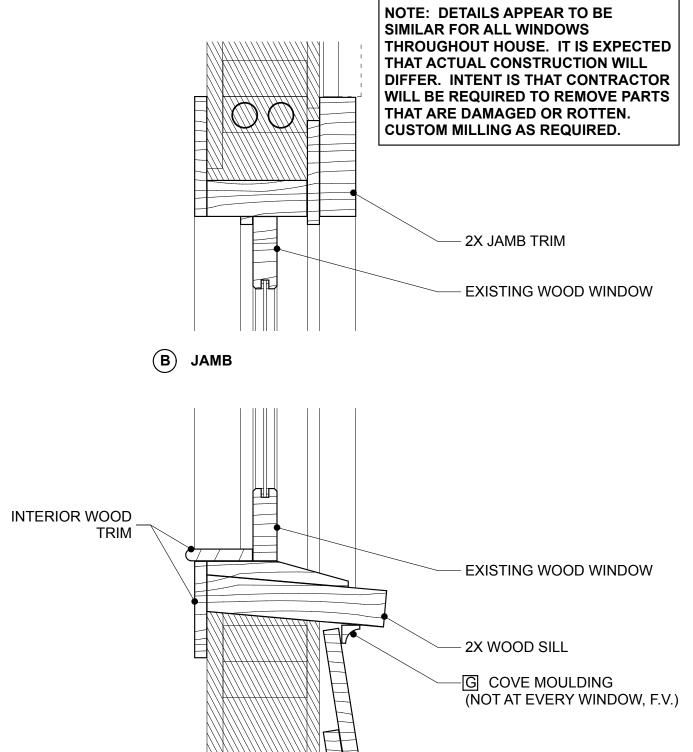








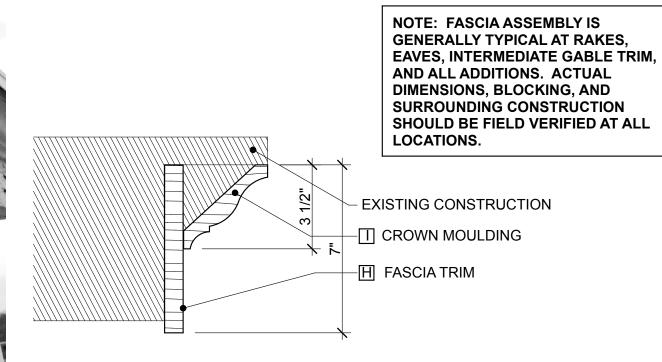




WINDOW ASSEMBLY AT PICKENS STREET ADDITION

(A) SILL





TYPICAL FASCIA ASSEMBLY

- ASPHALT SHINGLES - COPPER GUTTER SHEET APPLIED WATERPROOF UNDERLAYMENT - CROWN MOULDING ─Ħ FASCIA TRIM - EXISTING CONSTRUCTION 11 1/4" NOTE: WHERE REMOVAL / WHERE REPLACEMENT REPLACEMENT OF COMPONENTS IS REQUIRED, SOFFIT

FASCIA ASSEMBLY AT MAIN ENTRY PORCH WITH INTERNAL GUTTER

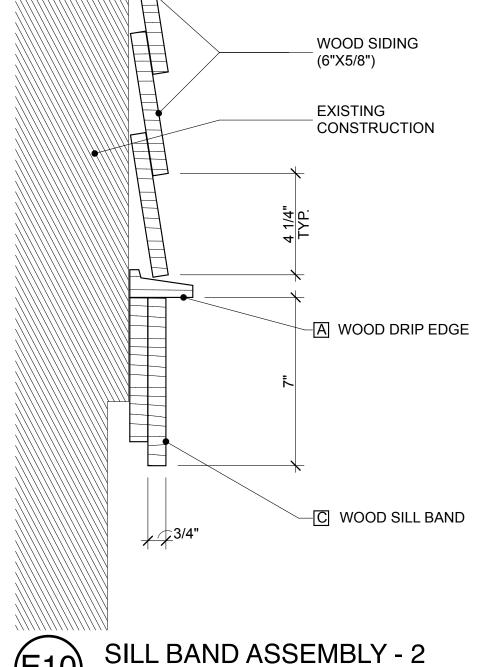
PANEL TO MATCH

EXISTING CONSTRUCTION

DOWNSPOUT

BEYOND





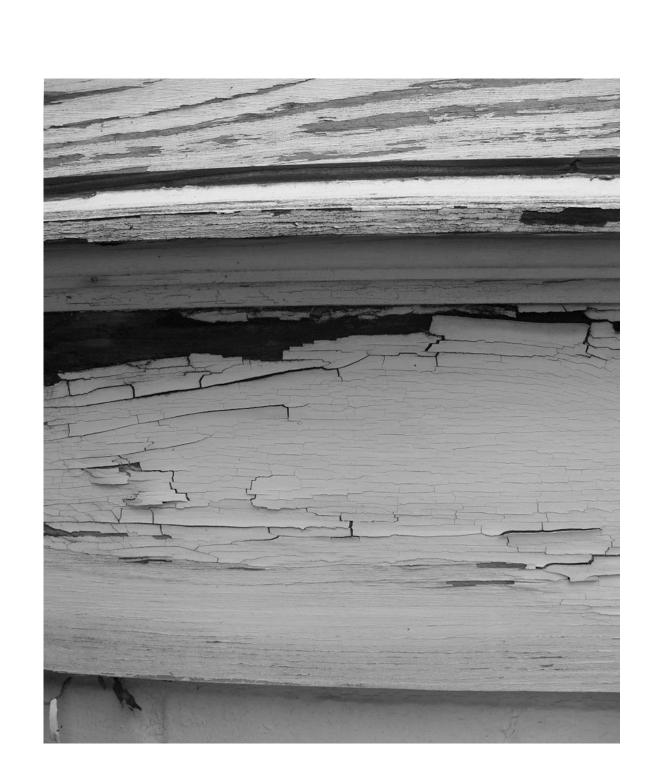
AFFECTS ADJACENT MATERIALS,

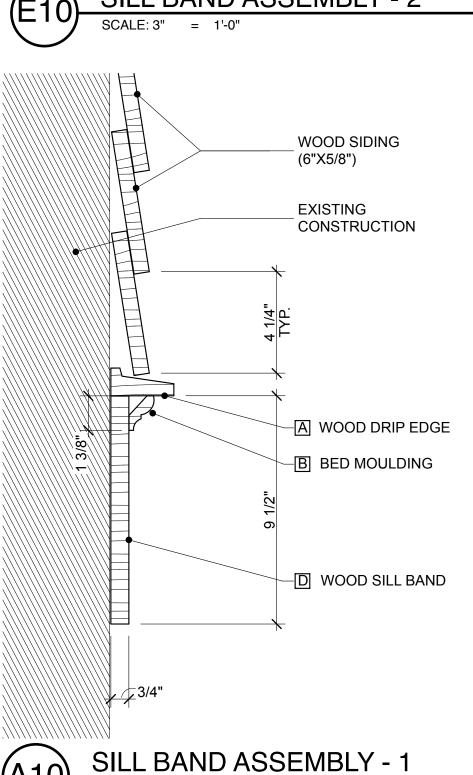
CONTRACTOR SHALL MAINTAIN

NECESSARY.

ESPECIALLY WATER SHEDDING PARTS,

INTENDED QUALITIES OR REPLACE AS





REVISIONS:

GENERAL NOTES:

EXISTING COMPONENTS, U.N.O.

CUSTOM MILLING AS REQUIRED.

A. INTENT OF THIS DRAWING IS TO SHOW GENERAL

CONFIGURATION OF TRIM SYSTEMS THAT WILL REQUIRE

REPLACEMENT DUE TO DAMAGE / ROT. CONTRACTOR

B. FLASHING, SEALANTS, AND BLOCKING NOT SHOWN

SHALL BE MATCHED OR MAINTAINED APPROPRIATELY.

C. DIMENSIONS SHOWN FOR GENERAL CONFIRMATION. EXACT DIMENSIONS SHOULD BE DETERMINED IN FIELD.

SHALL VERIFY CONSTRUCTION IN FIELD AND MATCH

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TRIM PROFILES